



**TENTATIVE AGENDA
APRIL 8, 2026 6:00 P.M.
ARCHITECTURAL REVIEW BOARD**

-
- I. MEETING CALLED TO ORDER
 - II. ROLL CALL
 - III. APPROVAL OF MINUTES: MARCH 11, 2026
 - IV. REVIEW OF PLANS FOR A NEW HOME, STEVE AND CINDI WENDLING,
4 PARKLAND AVENUE
 - V. MISCELLANEOUS
 - VI. ADJOURNMENT

Gabrielle Macaluso
Community Engagement Officer

POSTED: 5 p.m., April 3, 2026



MINUTES
ARCHITECTURAL REVIEW BOARD MEETING
March 11, 2026 – 6:00 p.m.

CALL TO ORDER

A meeting of the Architectural Review Board (ARB) of the City of Glendale was held on Wednesday, March 11, 2026. Chairman Fernhoff presided and called the meeting to order at 6:00 p.m.

ROLL CALL

| | |
|------------------------|-----------------------|
| <u>Members Present</u> | <u>Members Absent</u> |
|------------------------|-----------------------|

| | |
|-------------------|-----------|
| Chairman Fernhoff | Jon Emert |
| Laura Switzer | John Falk |
| Mike Moran | |
| Reed Voorhees | |
| Brad Weitekamp | |

Also present was Frank Johnson, City Administrator; Gabby Wesche, Community Engagement Officer; Kori Neely, City Engineer; and Kate Henry, City Attorney

APPROVAL OF MINUTES

Mr. Moran moved to approve the minutes from the February 11, 2026 meeting. The motion was seconded by Mr. Weitekamp and unanimously carried.

REVIEW OF PLANS FOR AN ADDITION – Mark and Ann Pratt, 41 Berry Oaks Lane

Chairman Fernhoff introduced the project at 41 Berry Oaks Lane and invited the applicant to present. The project’s architect, Max Bemberg, presented the proposal. The homeowners were also in attendance.

Mr. Bemberg explained that Missouri 811 (Dig Rite) was not able to locate the sewer or water lines on the property; therefore, they are not shown on the plans. He clarified that no changes to the utility connections are proposed and that the first-floor addition will be located at the rear of the home.

Drainage

Ms. Neely stated that there are no drainage concerns.

Site Design and Landscaping

The ARB noted that the applicant is mitigating additional stormwater. The applicant also noted that the driveway has been expanded to improve maneuverability when entering and exiting the garage, as well as to improve connection with the accessibility ramp.

Mr. Weitekamp clarified that a tree removal plan is not required because the addition is being constructed upward and to the rear and does not involve tree removal.

Mr. Weitekamp also noted an inconsistency between plans regarding the retaining wall, which extends to the end of the driveway in one plan but not in another. He emphasized that all plans should be consistent.

The ARB determined that the driveway includes more pavement than necessary and suggested simplifying the layout.

Architecture

The ARB requested clarification on exterior materials. Mr. Bemberg explained that the design includes wood on the front porch and dark bronze metal fascia to complement the window tones.

The ARB noted that the main soffit on the left side of the north elevation is not shown on the roof plan.

The ARB members expressed appreciation for the low roofline of the second story, noting that it helps control the overall massing of the home.

There was no public comment regarding the project.

Mr. Moran moved to approve the applicant’s project with the following condition:

- Correct the length of the ramp and front wall on the civil plans to match the architectural plans.

The motion was seconded by Mr. Weitekamp. The motion passed with a vote of 5 “Aye”, 0 “Nay,” and 2 Absent. The votes was as follows:

| | |
|----------------|--------|
| Reed Voorhees | “Aye” |
| John Falk | Absent |
| Mike Moran | “Aye” |
| Brad Weitekamp | “Aye” |
| Jeff Fernhoff | “Aye” |
| Laura Switzer | “Aye” |
| Jon Emert | Absent |

REVIEW OF PLANS FOR A NEW HOME – Benchmark Homes, 810 Brownell Ave.

Chairman Fernhoff introduced the project at 810 Brownell Ave. and invited the applicant to present the project. The project’s builder, Benchmark Homes, had three representatives in attendance—Project Manager, Jeff Brinkman; CEO, Mark Rasch; and Architect, Tim Hollerbach.

The applicant and ARB members reviewed the issues identified during the preliminary review at the February 11 meeting and the revisions made to address them. Benchmark Homes noted that they:

- Added board and batten siding on the gables.
- Added brick to the side elevation.
- Adjusted the chimney to be located within the side yard setback.
- Removed the chimney “doghouse” design.
- Reduced the size of the detached garage to comply with the City’s size limit.

The applicant noted that the project slightly exceeds the maximum Floor Area Ratio (FAR) of 0.30, with a proposed FAR of 0.326. The ARB expressed acceptance due to the small lot size.

Drainage

The ARB noted that the sewer line in the rear yard is not shown on the landscape plan. It was also noted that the roof plan shows three downspouts in both the front and rear, while the civil plan omits one downspout.

Site Design and Landscaping

The ARB expressed a preference for the landscape plan to be overlaid on the civil plan.

Mr. Weitekamp noted that a proposed tree is shown on top of a drainage outlet and advised relocating either the tree or the outlet.

He also suggested selecting tree species suitable for high-moisture conditions (e.g., cypress or sour gum) if planted near drainage features.

The ARB noted that Tree B is located between gas and water utilities and suggested shifting the soakaway pit pipe to accommodate the tree.

Architecture

The ARB expressed satisfaction with the revised design. While noting that the side elevations remain somewhat flat, they agreed that the updated chimney design and materials improve visual interest and break up the scale.

The ARB discussed the termination of the brick façade at the front corners. The applicant proposed wrapping the brick approximately two feet onto the side elevation. The ARB left the final determination to the applicant.

The ARB suggested aligning the upper-story window with the lower window for improved symmetry.

There was no public comment regarding the project.

Mr. Moran moved to approve the applicant’s project with the following conditions:

- Resolve the conflict between tree C and the south soakaway pit popup emitter. Move either the popup emitter or the tree, or change the species of tree C to a high-water uptake variety such as a Cypress tree or similar.
- Change location of tree B to be west of the water service line and south of the BMP. Adjust the BMP main drain from the house as needed to make room for the tree.
- Add the downspout from the high roof on the southwest side of the house to the civil plans.
- Revise the design of the brick façade at the front corners of the house.

The motion was seconded by Mr. Voorhees. The motion passed with a vote of 5 “Aye”, 0 “Nay,” and 2 Absent. The votes was as follows:

| | |
|----------------|--------|
| Reed Voorhees | “Aye” |
| John Falk | Absent |
| Mike Moran | “Aye” |
| Brad Weitekamp | “Aye” |
| Jeff Fernhoff | “Aye” |
| Laura Switzer | “Aye” |
| Jon Emert | Absent |

REVIEW OF PLANS FOR A NEW HOME – John Scharf, 5 Hillard Rd.

Chairman Fernhoff introduced the project at 5 Hillard Rd. and invited the applicant to present the project. The project’s builder, John Scharf, and architect, Tim Hollerbach, presented the project to the ARB.

Mr. Scharf explained that the existing house was demolished due to foundation and mold issues.

Drainage

Ms. Neely stated that there are no drainage concerns.

Site Design

The ARB confirmed that the tree line would be removed. Mr. Scharf clarified that it consists of overgrown brush.

The ARB noted a discrepancy between plans regarding the size and location of the patio. Mr. Scharf stated the patio is 10' x 16'. The ARB requested that the architectural plans be revised to match the civil plans.

The ARB also noted that underground stormwater piping near the front walk should be rerouted around the retaining wall rather than beneath it. They further discussed coordinating the top of the wall to step down with the adjacent stairs.

Landscaping

The ARB requested additional detail in the landscape plan, including delineation of plant bed borders and ground cover areas.

Architecture

The applicant provided samples of vinyl shaker-style siding and a comparable hardy board product.

The ARB noted that vinyl siding is not permitted for new construction under its guidelines.

The ARB expressed appreciation for the home's cohesive design and relationship between the main structure and detached garage.

Mr. Weitekamp advised careful selection of materials for the retaining wall to ensure they are complementary, particularly given the use of stone and siding on the home.

There was no public comment regarding the project.

Mr. Moran moved to approve the applicant's project with the following conditions:

- Revise the patio in the architectural drawing to match the civil plan.
- Reroute underground storm piping at the southeast corner around the front yard retaining wall, not under it.
- Note the top of the retaining wall in the front of the walk and coordinate the top of wall to step down with the stairs in the grade.
- Show the borders of plant beds and clarify lawn and ground covers in the landscape plan.
- Select an exterior cladding material from the acceptable list in the ARB guidelines.

The motion was seconded by Ms. Switzer. The motion passed with a vote of 5 "Aye", 0 "Nay," and 2 Absent. The votes was as follows:

Reed Voorhees
John Falk

"Aye"
Absent

| | |
|----------------|--------|
| Mike Moran | “Aye” |
| Brad Weitekamp | “Aye” |
| Jeff Fernhoff | “Aye” |
| Laura Switzer | “Aye” |
| Jon Emert | Absent |

MISCELLANEOUS -Impervious Surface Definition and Basement Depth Regulations

Mr. Johnson and Ms. Neely discussed whether areas beneath overhangs should be considered impervious surfaces when calculating total impervious coverage. The ARB determined that only the building footprint should be counted and that overhang areas should not be included. The Board suggested adding a formal definition of “impervious surface” to the zoning code.

Mr. Johnson also asked whether the City should regulate basement depth due to stormwater and foundation concerns, referencing issues at 725 E. Essex Avenue. He noted that the City of Kirkwood requires water table testing to determine allowable basement depth.

The ARB determined that such regulation falls outside its purview and should instead be addressed through county building codes.

ADJOURN

Mr. Moran moved to adjourn the meeting at 8:15 p.m. The motion was seconded by Mr. Voorhees and unanimously carried to adjourn the meeting.



424 N. Sappington Road Glendale, Missouri 63122 (314) 965-3600 fax (314) 965-4772

APPLICATION FOR ARCHITECTURAL REVIEW BOARD

APPLICATION DATE 03-17-2026 DATE OF ARB MEETING ESTIMATED COST \$ 855,500

PROJECT ADDRESS 4 Parkland Ave GLENDALE, MO 63122

NAME OF PROPERTY OWNER Steve and Cindi Wendling PHONE NUMBER 314 615 1247

CONTRACTOR (NAME) McKelvey Homes PHONE NUMBER (314) 960-1211

CONTRACTOR ADDRESS 424 South Woodsmill Road Chesterfield MO 63017

ARCHITECT (NAME) Paul Dean Hunsicker PHONE NUMBER (636) 343-6527

ARCHITECT ADDRESS 1016 Clark Drive Fenton MO 63026

DETAILED DESCRIPTION OF WORK BEING PROPOSED: Demo the existing home and construct New Single family home

FLOOR AREA RATIO (FAR = Gross Floor Area divided by total area of lot. Gross Floor Area includes all areas provided with heat and/or air conditioning. Includes all conditioned half stories with ceiling heights of more than 5 feet. All living space with ceiling heights of sixteen (16) feet or greater shall be counted at 200%. Attached garages shall be counted at 50%. Exclude any finished or unfinished basement, a detached garage, and any unenclosed porch).

TOTAL FLOOR AREA OF NEW CONSTRUCTION (SQ. FT.) 4,541

TOTAL FLOOR AREA OF EXISTING STRUCTURE (SQ. FT.) Existing Structure to be removed

TOTAL SQ. FT. OF LOT 14,981 sf WIDTH AND DEPTH OF LOT (FT.) 100' x 150.21 / 149.41

HEIGHT OF STRUCTURE 30' - 10" NUMBER OF STORIES Two

ESTIMATED COMMENCE DATE June 1. 2026 EST. COMPLETION DATE March 15, 2027

Each application shall be accompanied with payment of a fee as follows: Addition or Accessory Structure: \$150.00 New Home: \$200.00

(SEE REVERSE SIDE FOR APPLICATION CHECKLIST)

Applications **must include 7 copies of all the following items (11x17 size paper is acceptable). Electronic PDF copies must also be submitted, either by email to permits@glendalemo.org or on a USB Flash Drive. Packets are due no later than 5:00 p.m. 20 days prior to the scheduled ARB meeting. Please check each item included. The complete ARB Guidelines [may be viewed on the City's website.](#)**

Applications for additions to existing homes must include the following content unless specific requirements are shown by the applicant to be not applicable to the proposed project and are modified or waived by the City Administrator.

Please ensure that all required items are included with your submission and that all plans have the required detail. If revisions or additional information are necessary, your submission will be held over to the following ARB meeting.

1. **Existing Conditions Site Survey.** Show all site conditions, paved areas, trees and landscaping, and servicing utilities on the subject property. Note the first-floor elevation of existing buildings. 1" = 20" minimum scale.
2. **Site Demolition Plan.** This may be incorporated into the Existing Conditions Plan, if the drawing is presented legibly. 1" = 20" minimum scale.
3. **Proposed Site Plan -- Geometrics.** 1" = 10' minimum scale. Show all:
 - Site improvements, existing-to-remain and proposed. Include buildings, walls, retaining walls, patios, pavement, walks and ground-based equipment. Provide key setting out dimensions. Dimension proposed buildings and structures to the property line. Label materials for paving/walks.
 - Adjacent neighbor properties to each side and rear of the subject property. Include the full site for side adjoining parcels. Show rear adjoining parcels to the extent of building facades on the rear neighbor's lot. Adjoining property geometrics do not need to be surveyed and can be created using St. Louis County GIS data or online mapping tools.
 - Property boundaries, setbacks, easements, and right-of-way lines.
 - Proposed site servicing utility lines and physical utility items.
 - Existing and proposed trees
4. **Proposed Site Plan – Grading and Drainage.** May be presented as a separate plan or combined with above, provided that geometrics graphics are used as background. 1" = 10' minimum scale. Show all:
 - Existing and proposed contours with 1' contour interval.
 - Downspout locations serving roof areas of the proposed buildings. Show how downspout drainage flow is collected and piped/conveyed to discharge points. Include over-land drainage discharge patterns, drainage swales, detention basins, and flow direction. Coordinate with the architectural plans and elevations.
 - Drainage detention structures and their overflow discharge points. Show all piping into drainage detention structures.
 - Erosion control measures and tree protection barriers.
 - Drainage differential discharge calculations showing the engineered basis of pre- and post-development stormwater flow off of the site. No development shall result in an increase of stormwater discharge volume from the site.

5. **Architectural Floor Plan.** 1/4" = 1' minimum scale. Show all levels, including finished/unfinished basements and detached structures. Fully dimension and indicate functions for all rooms. Include a roof plan accurately showing geometry, slopes, gutters and downspouts and coordinate with Site Grading and Drainage Plan. Limit size reductions to not more than 50%.
6. **Pervious and Impervious Area Coverage Plan.** Illustrate all impervious improvements and diagram the impervious areas in comparison to pervious areas. Indicate types of site area coverage by shading and/or patterns with a legend of materials. Measure and show in a schedule areas of each type of coverage. Provide calculations of pervious and impervious areas and the ratio of impervious coverage.
7. **Landscape Plan.** 1/8" = 1' minimum scale. Use the Site Geometric Plan as background. The landscape planting plan should include:
- Current information from the site development plan, including existing/proposed grades and all buildings/structures.
 - Location of all lot lines, building setbacks, and easements as depicted on the site development plan.
 - Graphic legend depicting existing vegetation and proposed conditions.
 - Location of all improvements (walks, patios, driveways, retaining walls, etc.)
 - Location of all existing and proposed utilities and sewers.
 - Graphic depiction of all existing trees, including location, types and caliper inch.
 - Graphic depiction of the accurate drip line canopy showing the critical root zone.
 - Tabulation of all existing trees to be saved, removed or impacted.
 - Graphic depiction, plant schedule and planting details of all proposed trees, landscape plantings, shrubs, lawn areas, and groundcovers. Botanical and common names should be listed on plans.
 - Graphic depiction indicating limits of ground disturbance and all associated areas of lawn to be seeded or sodded upon project completion.
8. **Arborist Report.** The arborist report should include Tree Protection Plan (TPP) with the following information:
- Project title or name, owner name, and firm name or individual who prepared the plan.
 - Scaled based plan using the site development plan depicting line of disturbance, existing/proposed grades, location of all improvements, existing/proposed utilities and sewers.
 - Graphic depiction of all existing trees to remain and to be removed including location, types and Diameter Breast Height (DBH) size of 6" or greater.
 - Graphic depiction of the accurate drip line canopy showing the extent of the Critical Root Zones and Structural Root Zones.
 - Graphic depiction of proposed Tree Protection Zones and tree protection fencing.
 - Identification of any areas of invasive plants recommended for removal.
 - Tree Report Summary with the common and scientific name of the tree and the DBH at 4.5' above grade; comments on the vitality, structure and form of the tree; tree number (to correspond with the TPP); assessment of value/significance and recommended action to be taken; and reason for proposing removal or trimming of the tree.
9. **FAR Illustration Plan.** 1/8" = 1' minimum scale. Present a diagrammatic illustration of the plan areas as measured in CAD-based takeoff or as calculated by dimensions. Note the measured or calculated area of each floor plan level, show the boundary of each measured area graphically,

and indicate how each area is assessed for FAR. Account for all floor areas and classify (i.e. conditioned space, enclosed porches, attached or detached garage, two-story living space, etc.).

- 10. **Color Photos of Adjoining Properties.** Color photos of existing and neighboring properties. Include rear yard and neighboring rear yards.
- 11. **Aerial Photo Plan.** Submit an illustration compositing the proposed development with buildings shaded black and pavements shaded grey, superimposed to scale onto an aerial photo image showing the project Street in its entirety.
- 12. **Composite Street Elevation.** ¼" = 1' minimum scale. Provide a colored elevation of the street façade superimposed on a photographic montage showing the adjoining neighbors to each side of the property. The exhibit must accurately depict the proposed design and the first-floor level in relation to the neighboring houses.
- 13. **Building Elevations.** Minimum ¼" = 1' scale. Reduced size exhibits limited to not more than 50 percent. Provide building elevations of all principal facades and detached structures with building materials noted. Accurately show the line of grade, as defined in the ARB guidelines, and coordinate with the Grading Plan. Note basements as a Story Below Grade or a Building Story, and show the roof height on each elevation, as defined in the ARB guidelines.
- 14. **Colored Illustration.** Provide a 3-dimensional rendering or a colored building elevation of the principal street façade. For additions, illustrate the most prominent façade whether side or rear.
- 15. **Materials and Samples.** Applicants are required to bring physical samples of the building materials to the ARB meeting.



03-18-2026

SIGNATURE OF APPLICANT

DATE

Mark Scheipeter - The Drafting Team LLC

PROJECT INFORMATION

BUILDER:
MCKELVEY HOMES
424 S WOODS MILL ROAD, SUITE 110
TOWN AND COUNTRY, MO 63017
P: (636)556-7592

ARCHITECT:
PAUL DEAN HUNSICKER
1016 CLARK DRIVE
FENTON, MO 63124
P: (314)971-0639

SURVEYOR:
ALTEA LAND SURVEYORS
3906 OLD HWY 94 S SUITE 600,
ST CHARLES, MO 63304
P: (636)477-6000

SITE INFORMATION:
LOC # 23110163
FIRM PANEL: 29189CC309K
DATE: 2/4/15
ZONE: X (OUTSIDE 100-YEAR)

CIVIL ENGINEERING PLANS

FOR

4 PARKLAND AVENUE

GLENDALE, MO 63122

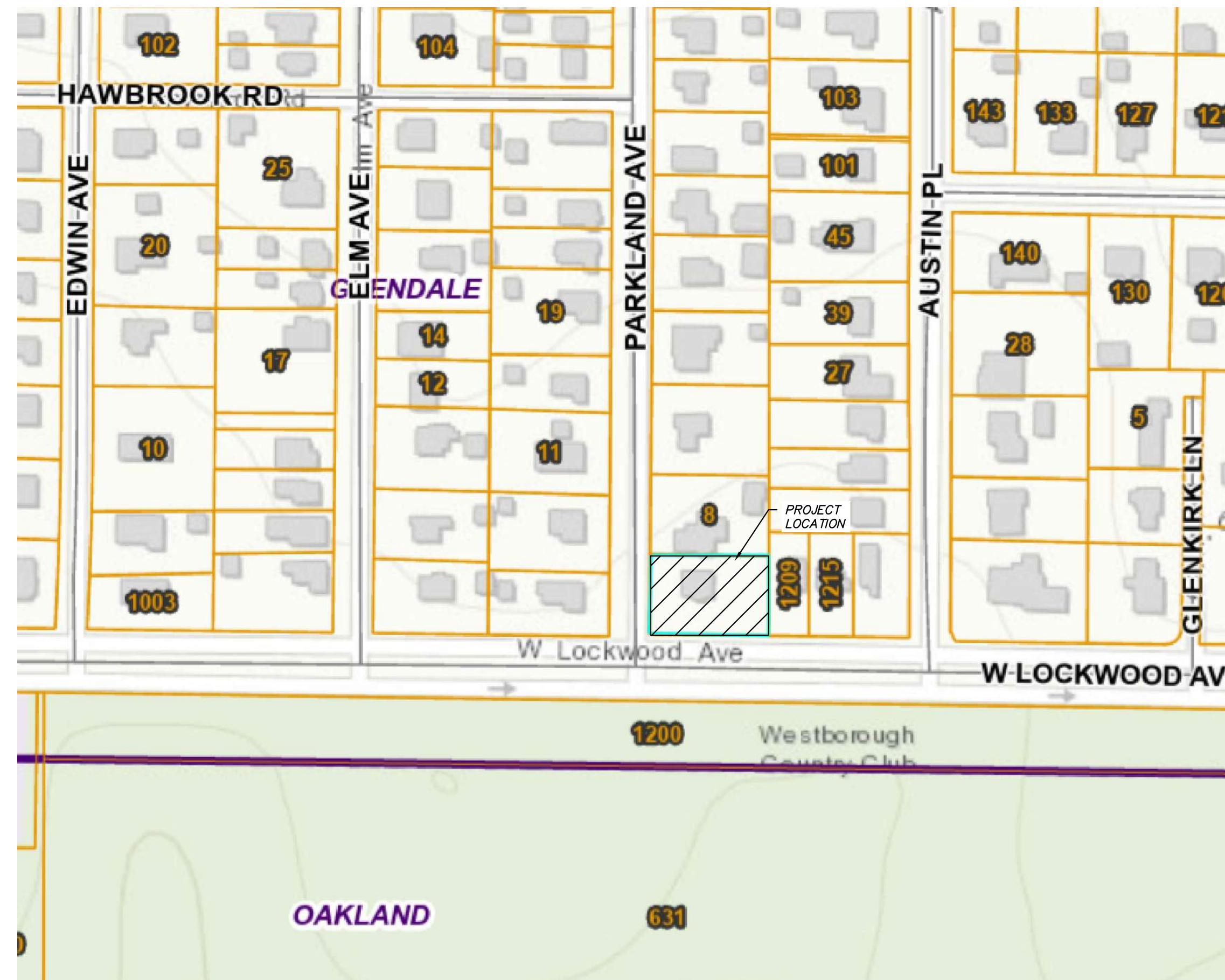
ZONING INFORMATION
ZONING: R-1 RESIDENTIAL
FRONT YARD SETBACK: 35' MINIMUM
SIDE YARD SETBACK: 10' MINIMUM
REAR YARD SETBACK: 30' MINIMUM
IMPERVIOUS AREA: 55% MAXIMUM FOR TOTAL LOT AND 45% MAXIMUM FOR FRONT YARD

DRAWING INDEX
C0.0 COVER SHEET
C1.0 PROPOSED SITE PLAN
C2.0 STORMWATER CONTROL PLAN SURVEY

PARCEL SIZE
14,981 SF (0.34 AC)

LEGAL DESCRIPTION
LOT 7 IN BLOCK 3 OF PARKLAND PLACE
PLAT BOOK: 1, PAGE: 144
ST. LOUIS COUNTY, MISSOURI

PROJECT BENCHMARK
CUT SQUARE IN CURB
ELEV=616.24'



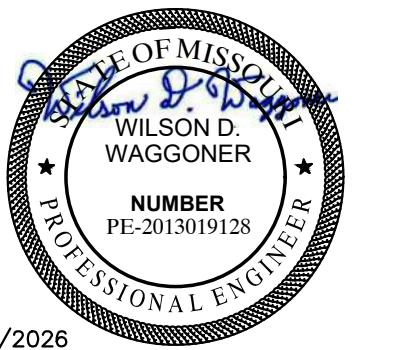
LOCATION MAP (NTS)

COVER SHEET
4 PARKLAND AVENUE
GLENDALE, MO 63122

MCKELVEY HOMES

TITLE:

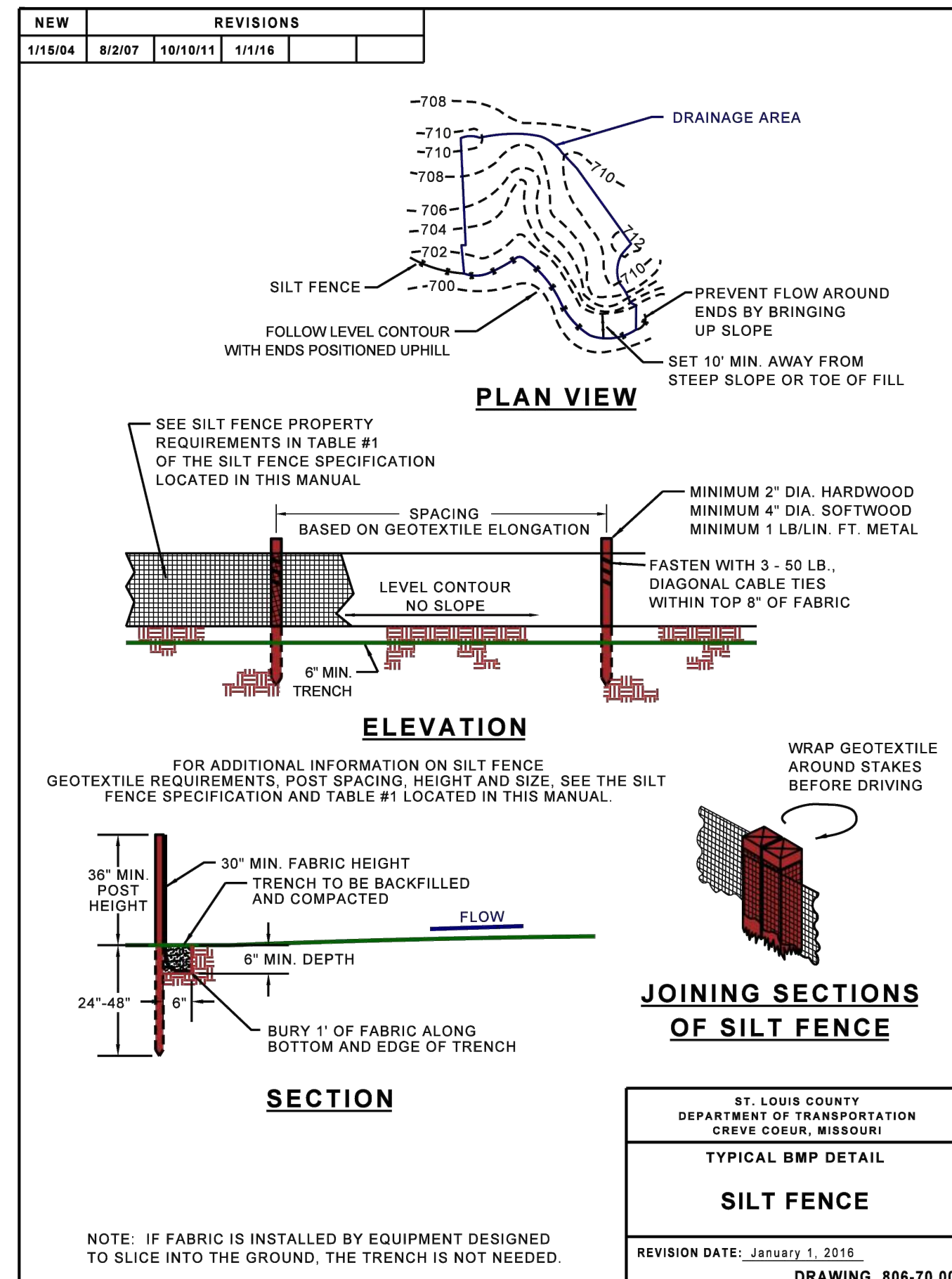
CLIENT:



3/30/2026

WCD WILSON CIVIL DESIGN
DESIGNING RESOURCEFULLY

P.O. BOX 308
MARYVILLE, IL 62062
P: (314)750-1987
E: WILSON@WILSONCIVILDDESIGN.COM



1/112016 Page 143 Sediment and Erosion Control Manual Standard Drawings

UTILITIES NOTE

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS NOT KNOWN OR SHOWN.



Know what's below. 811 before you dig.

ENGINEER'S CERTIFICATE

THIS IS TO CERTIFY THAT WILSON CIVIL DESIGN LLC AT THE REQUEST OF AND FOR THE EXCLUSIVE USE OF MCKELVEY HOMES HAS PREPARED THIS CIVIL ENGINEERING PLAN SET FROM RECORD SOURCES AND ACTUAL FIELD SURVEY.

Wilson D. Waggoner 3/30/2026

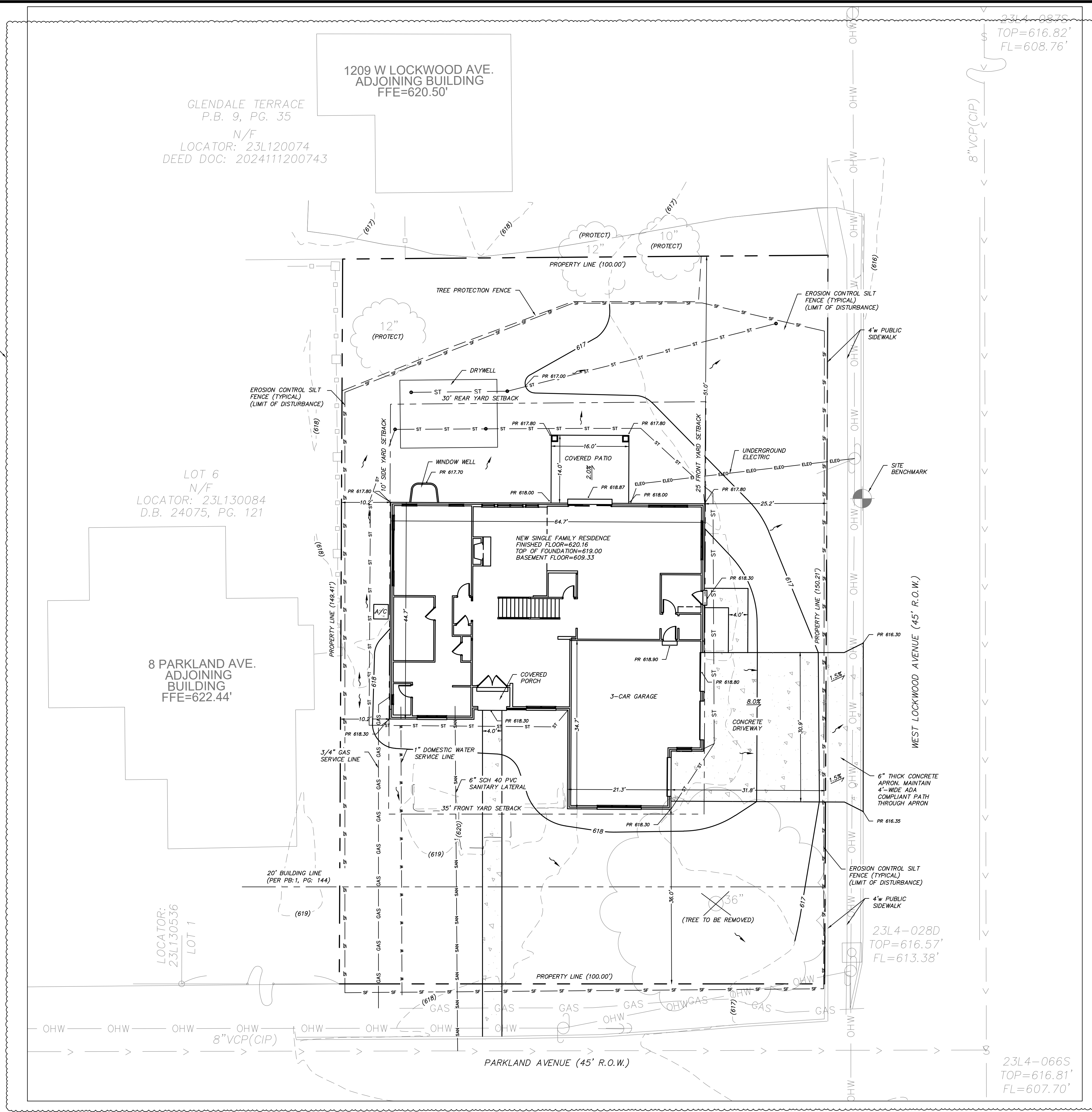
WILSON D. WAGGONER, P.E. 2013019128
IN THE STATE OF MISSOURI
EXPIRES 12-31-2027

| NO. | DATE | REVISION | CITY COMMENT | RESPONSE |
|-----|-----------|----------|--------------|----------|
| 1 | 3/30/2026 | | | |

| | | |
|---------|-----|----------------|
| DRAWN | WDW | SCALE |
| CHECKED | WDW | DATE 3/12/2026 |

C0.0

SHEET 1 OF 4

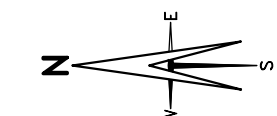


PARCEL SIZE
14,981 SF (0.34 AC)

PROJECT BENCHMARK
CUT SQUARE IN CURB
ELEV=616.24'

LEGEND

- PROPOSED CONCRETE PAVEMENT
- ELEC— PROPOSED ELECTRIC SERVICE
- W — PROPOSED WATER SERVICE
- SAN — PROPOSED SANITARY SERVICE
- ST — PROPOSED STORM DRAIN
- SF — PROPOSED STORM DRAIN
- TREE PROTECTION FENCE
- (XXX) EXISTING CONTOUR ELEVATION
- XXX PROPOSED CONTOUR ELEVATION
- PR=PROPOSED SPOT GRADE
- EX=EXISTING SPOT GRADE



0' 10'
SCALE: 1"=10'

UTILITIES NOTE

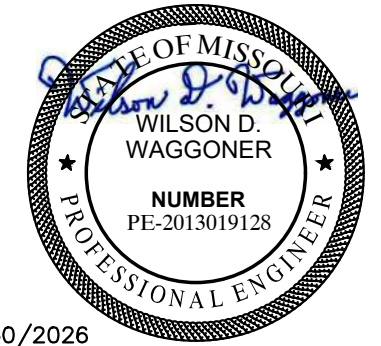
UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS NOT KNOWN OR SHOWN.

811 Know what's below. 811 before you dig.

PROPOSED SITE PLAN
4 PARKLAND AVENUE
GLENDALE, MO 63122

MCKELVEY HOMES

TITLE:
CLIENT:



3/30/2026

WCD WILSON CIVIL DESIGN
DESIGNING RESOURCEFULLY

P.O. BOX 308
MARYVILLE, IL 62062
P: (314)750-1987
E: WILSON@WILSONCIVILDISEGN.COM

| NO. | DATE | REVISION | CITY COMMENT | RESPONSE |
|-----|-----------|----------|--------------|----------|
| 1 | 3/30/2026 | | | |

PROJECT NO.

| | | |
|---------|-----|-----------|
| DRAWN | WDW | SCALE |
| CHECKED | WDW | DATE |
| | | 3/12/2026 |

C1.0

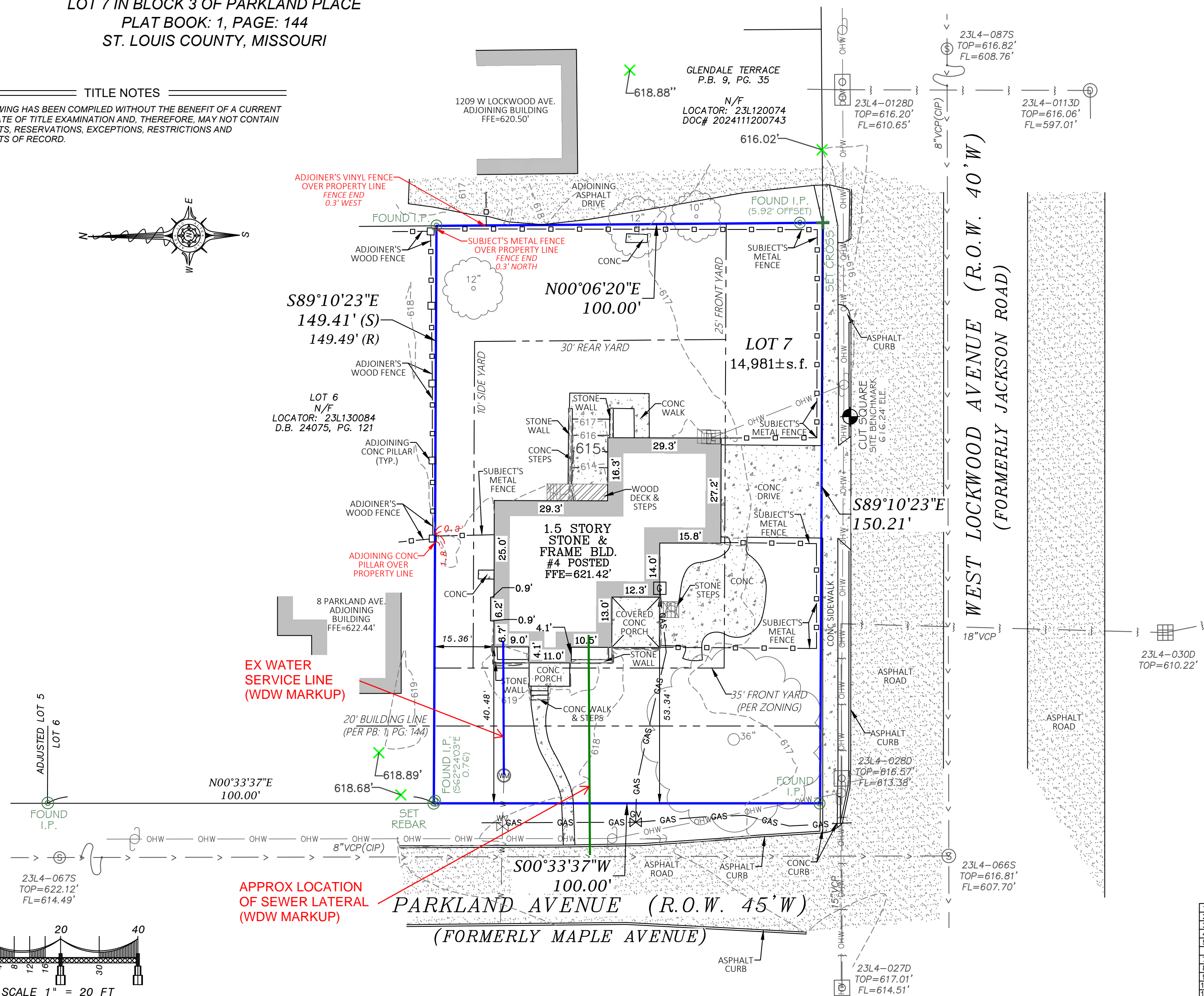
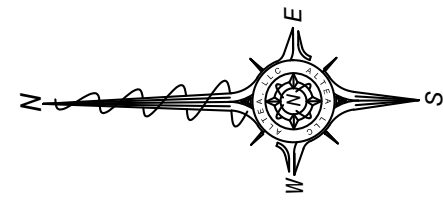
BOUNDARY RETRACEMENT, IMPROVEMENT & TOPOGRAPHIC SURVEY

4 PARKLAND AVENUE

LOT 7 IN BLOCK 3 OF PARKLAND PLACE
PLAT BOOK: 1, PAGE: 144
ST. LOUIS COUNTY, MISSOURI

| MISSOURI ONE CALL | | TICKET NO. 260513483 | REQUEST DATE: 2/20/26 |
|-------------------|-------------|----------------------------|--------------------------|
| DATE | UTILITY | COMPANY | RESPONSE |
| 2/24/26 | ELECTRIC | AMEREN MISSOURI ELECTRIC | CLEAR / NO CONFLICT |
| | FO, TEL, TV | ATT DISTRIBUTION | CLEAR / NO CONFLICT |
| | WATER | MISSOURI AMERICAN WATER CO | MARKED |
| | GAS | SPIRE MO EAST | MARKED |
| | SEWER | MSD | CLEAR / NO CONFLICT |
| | FO | UPN DBA SEGRA | CLEAR / NO CONFLICT |

TITLE NOTES
THIS DRAWING HAS BEEN COMPILED WITHOUT THE BENEFIT OF A CURRENT CERTIFICATE OF TITLE EXAMINATION AND, THEREFORE, MAY NOT CONTAIN EASEMENTS, RESERVATIONS, EXCEPTIONS, RESTRICTIONS AND COVENANTS OF RECORD.

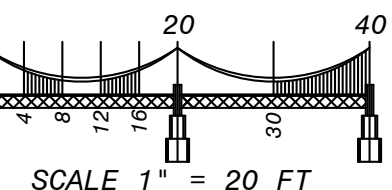


SURVEYOR'S NOTES

- CONTOURS DEPICTED HEREON ARE DISPLAYED IN ONE (1) FOOT INTERVALS.
- SITE BENCHMARK: ELEVATION = 616.24'. CUT SQUARE ON CURB NEAR THE SOUTHEAST CORNER OF THE SITE.
- SHOWN UTILITIES, IF ANY, ARE BASED ON ABOVE GROUND OBSERVATIONS & ARE INCLUDED ONLY WHEN A UTILITY SURVEY WAS PART OF THE PROJECT SCOPE. THIS COMPANY HAS MADE NO ATTEMPT TO EXCAVATE OR GO BELOW SURFACE TO LOCATE UTILITIES AND DOES NOT EXTEND OR IMPLY A WARRANTY OR WARRANTY AS TO THE EXACT LOCATION OF OR COMPLETE INVENTORY OF UTILITIES IN THIS AREA. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES (WHETHER SHOWN OR NOT) PRIOR TO EXCAVATION OR CONSTRUCTION AND TO PROTECT SAID UTILITIES FROM DAMAGE.
- BASIS OF BEARINGS ARE DERIVED FROM TIES TO MISSOURI STATE PLANE COORDINATES USING GPS OBSERVATIONS REFERENCED TO MODOT VRS NETWORK ON FEBRUARY 24, 2026 WITH THE FOLLOWING PARAMETERS:
 ZONE: MISSOURI EAST 2401
 HORIZONTAL DATUM: NAD83
 VRS BASE STATION PRS143356476177 (CORS-ID MOSI)
 N (Y) = 302843.569 (METERS)
 E (X) = 253367.387 (METERS)
 ELEVATION = 459.87'
 COMBINED FACTOR = 0.99993347
 VERTICAL DATUM: NAVD88 (GEOID12B)
- THE SUBJECT TRACT CONTAINS 0.34 ACRES MORE OR LESS (14,981 SQUARE FEET MORE OR LESS).
- PER THE CITY OF GLENDALE, THE PROPERTY SHOWN HEREON IS ZONED "R-1" RESIDENTIAL AND IS SUBJECT TO THE FOLLOWING RESTRICTIONS:
 FRONT YARD SETBACK ON PARKLAND AVE. - 35 FT
 FRONT YARD SETBACK ON LOCKWOOD AVE. - 25 FT (25% OF LOT WIDTH)
 REAR YARD - 30 FT
 SIDE YARD - 10 FT

LEGEND

| | | | |
|-----|-------------------|-----|-------------------------|
| ○ | CHAIN FENCE | — | BOUNDARY LINE |
| --- | EASEMENT LINE | □ | WOOD/VINYL/ METAL FENCE |
| --- | SETBACK LINE | X | WIRE FENCE |
| --- | PARCEL SURVEY | ▬ | BUILDING FOOTPRINT |
| --- | SECTION LINE | --- | 5' CONTOUR LINE |
| --- | CENTERLINE | --- | 1' CONTOUR LINE |
| --- | SANITARY SEWER | --- | NATURAL GAS LINE |
| --- | UNDERGROUND | --- | TELEPHONE LINE |
| --- | UNDERGROUND | --- | STORM SEWER LINE |
| --- | ELECTRIC LINE | --- | CABLE TELEVISION LINE |
| --- | WATER LINE | | |
| ⊙ | SANITARY MANHOLE | ⊙ | CABLE BOX |
| ⊙ | AREA INLET | ⊙ | ELECTRIC METER |
| ⊙ | DOUBLE AREA INLET | ⊙ | AIR CONDITIONING UNIT |
| ⊙ | GRATED INLET | ⊙ | UTILITY POLE |
| ⊙ | PVC PIPE CAP | ⊙ | TELEPHONE BOX |
| ⊙ | GAS METER | ⊙ | TELEPHONE PEDESTAL |
| ⊙ | GAS VALVE | ⊙ | XXX' |
| ⊙ | WATER METER | ⊙ | SPOT ELEVATION |
| ⊙ | WATER VALVE | ⊙ | XX'' |
| | | | TREE WIDTH |



| | | |
|-----------------------------------|-------------|-----------|
| SHEET IDENTIFICATION | | |
| TOPO & BOUNDARY | | |
| PROJECT NUMBER 26-0397-O-T | | |
| 1 OF 1 | FIELD CREW: | SJL |
| | SURVEYED: | 2/24/2026 |
| | DRAFTER: | LD/SG |
| | DRAFTED: | 2/26/2026 |
| | REVIEWER: | BLH |
| | REVIEWED: | 2/27/2026 |

SURVEYOR'S STATEMENT
AT THE REQUEST OF CHARLIE BRENNAN AND MCKELVEY HOMES, ALTEA, LLC, HAS DURING THE MONTH OF FEBRUARY, 2026, EXECUTED A BOUNDARY RETRACEMENT, IMPROVEMENT & TOPOGRAPHIC SURVEY OF LOT 7 IN BLOCK 3 OF PARKLAND PLACE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 1, PAGE 144 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, TOGETHER WITH THE LOCATION OF OBSERVED IMPROVEMENTS THEREON, AND THAT THE RESULTS OF SAID SURVEY ARE IN MY PROFESSIONAL OPINION, CORRECTLY INDICATED ON THE ABOVE PLAT. THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS FOR URBAN CLASS PROPERTY. DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF THIS SURVEY ONLY AND IS NOT TRANSFERABLE. THE OPINION OF THE ORIGIN OF THE FENCES SHOWN HEREON IS FROM EVIDENCE OBSERVED DURING THE COURSE OF THIS SURVEY, AND MAY INCLUDE: FENCE CONSTRUCTION, OCCUPANT TESTIMONY, OR OTHER AVAILABLE INFORMATION. NO GUARANTEE IS MADE OR CERTAINTY GIVEN AS TO THE ORIGIN OR OWNERSHIP OF FENCES. THIS BOUNDARY SURVEY IS NON-TRANSFERABLE. DUE TO EACH MUNICIPALITY HAVING DIFFERENT ZONING SETBACK REQUIREMENTS, OVERHANGS SHOWN ON THIS SURVEY MAY BE IN VIOLATIONS THAT THE SURVEYOR IS NOT AWARE OF AND MAKES NO WARRANTIES TO THIS AFFECT.

AS AGENT OF ALTEA, LLC
DATE 2-27-26
ALTEA, LLC
PROFESSIONAL LAND SURVEYING
CERTIFICATE OF AUTHORITY: 2013023731

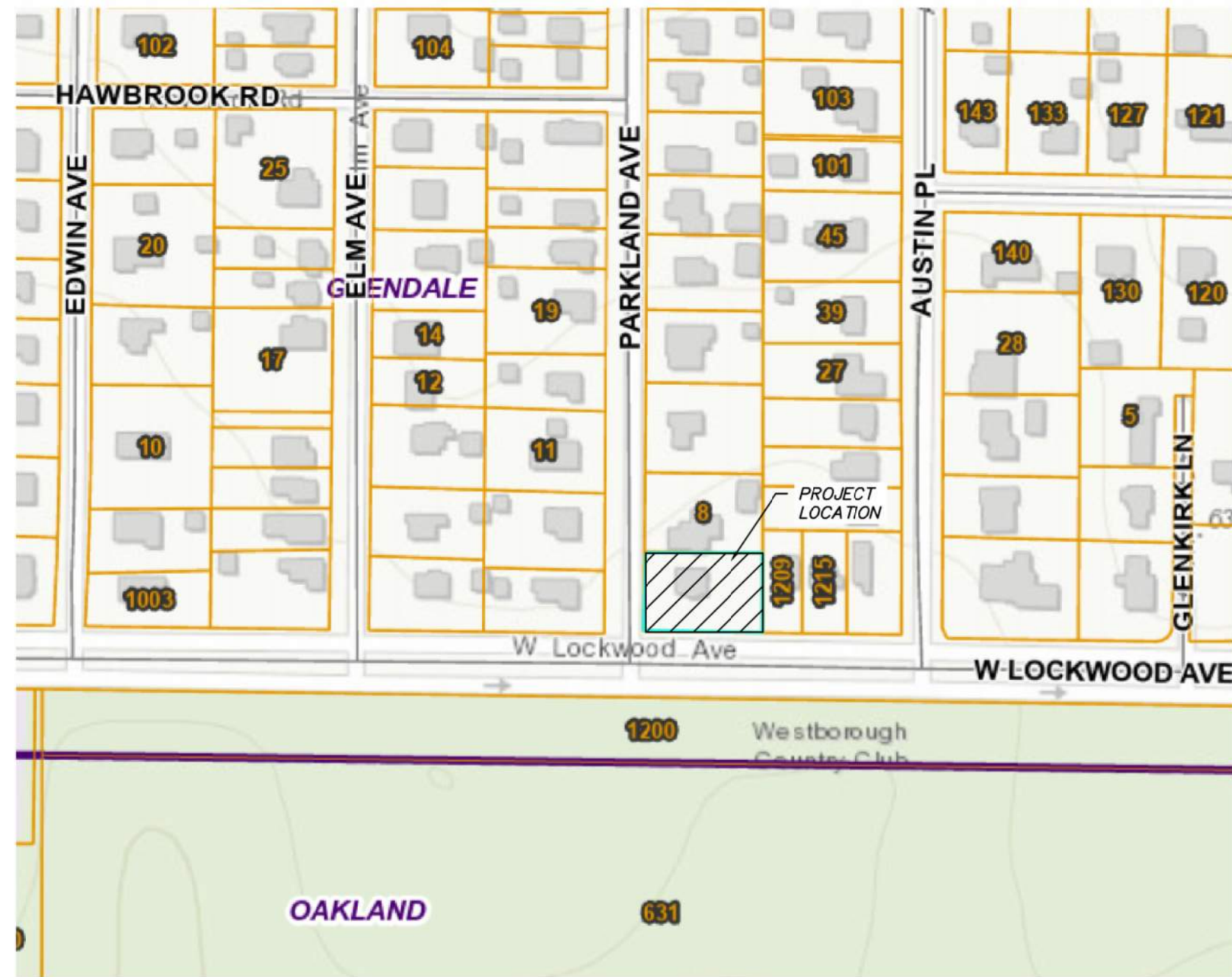
SURVEY MARKERS

- ⊙ FOUND/SET SEMI-PERMANENT MONUMENT
- ⊙ FOUND/SET PERMANENT MONUMENT
- ⊙ FOUND/SET CROSS
- ⊙ FOUND/SET ANCHOR
- ⊙ FOUND/SET ARROW
- ⊙ SET STAKE
- ⊙ SITE BENCHMARK

ABBREVIATIONS

I.P.=IRON PIPE I.R.=IRON ROD (S)=SURVEYED (R)=RECORD
 NR=NON-RADIAL PB=PLAT BOOK PG=PAGE D.B.=DEED BOOK
 N/F=NOW OR FORMERLY CL=CENTERLINE S.F.=SQUARE FEET
 CONC=CONCRETE R.O.W.=RIGHT-OF-WAY B.M.=BENCHMARK
 ESMT.=EASEMENT ELE=ELEVATION BLD.=BUILDING
 FFE=FINISHED FLOOR ELE FL=FLOWLINE TFF=TOP OF FINISHED FLOOR

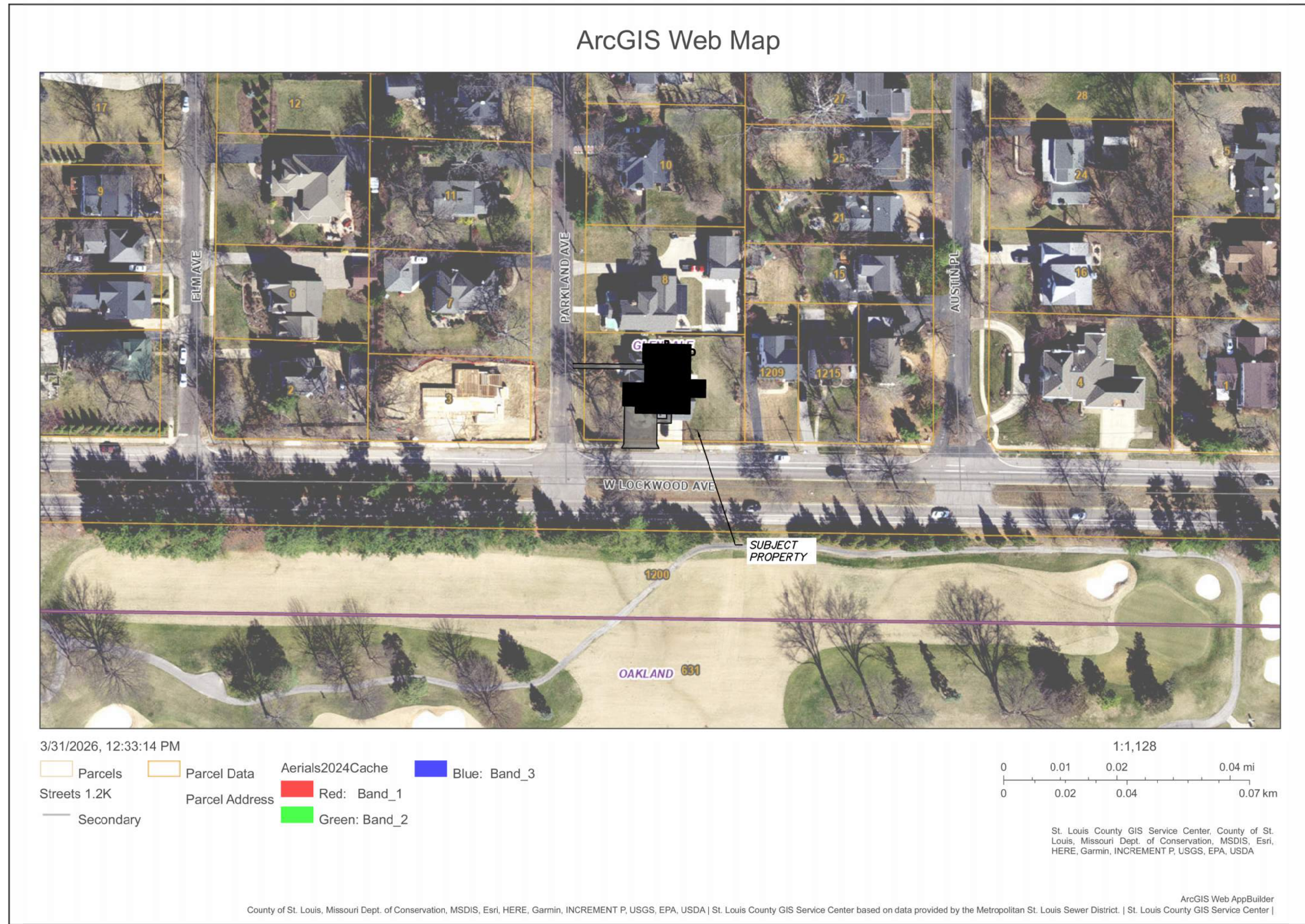
ALTEA, LLC
 Consulting Land Surveyors
 3906 S. OLD HWY 94, SUITE 600
 ST. CHARLES, MO 63304
 PHONE: (636) 477-6000
 FAX: (636) 898-0950
 WWW.ALTEALS.COM
 © 2026 ALTEA, LLC



LOCATION MAP (NTS)



AERIAL OF STREET



ENLARGED AERIAL

UTILITIES NOTE
 UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS NOT KNOWN OR SHOWN.

811
 Know what's below. 811 before you dig.

TITLE:
**AERIAL EXHIBIT
 4 PARKLAND AVENUE
 GLENDALE, MO 63122**

CLIENT:
MCKELVEY HOMES

3/31/2026

WCD
 WILSON CIVIL DESIGN
 DESIGNING RESOURCEFULLY

P.O. BOX 308
 MARYVILLE, IL 62062
 P: (314)750-1987
 E: WILSON@WILSONCIVILDISEGN.COM

| NO. | DATE | REVISION | CITY | COMMENT | RESPONSE |
|-----|-----------|----------|------|---------|----------|
| 1 | 3/30/2026 | | | | |

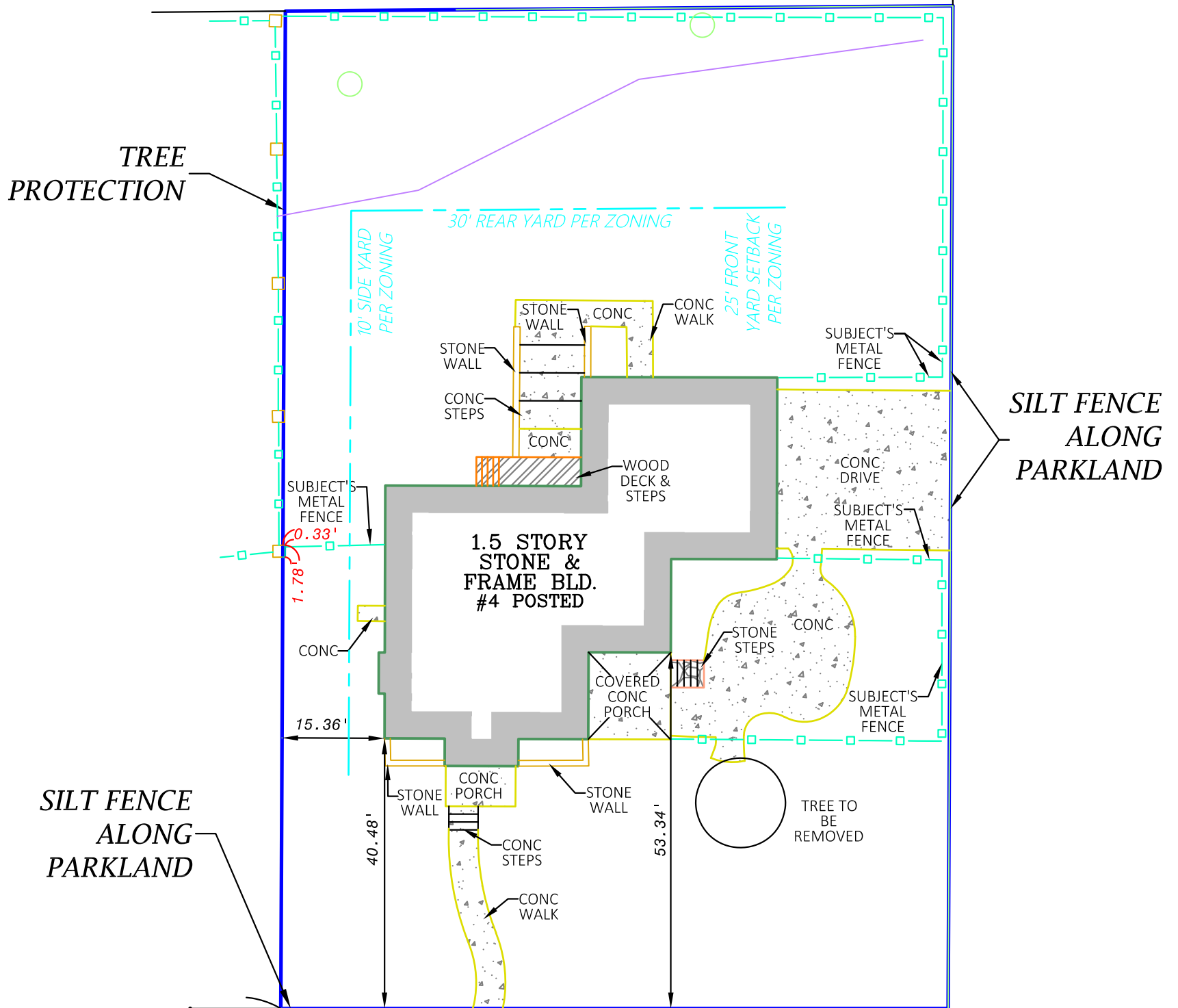
| | |
|-------------|-----------|
| PROJECT NO. | |
| DRAWN | WDW |
| SCALE | |
| CHECKED | WDW |
| DATE | 3/12/2026 |

EX1.0

DEMOLITION PLAN

ENTIRE HOME, FOUNDATION AND
ALL IMPROVEMENTS TO BE
REMOVED UNDER DEMOLITION
PERMIT WITH St. Louis County
Health and Building Dept.

DEMOLITION CONTRACTOR - BELLON WRECKING CO.



**WENDLING RESIDENCE
#4 PARKLAND AVENUE
GLENDALE, MO 63122**

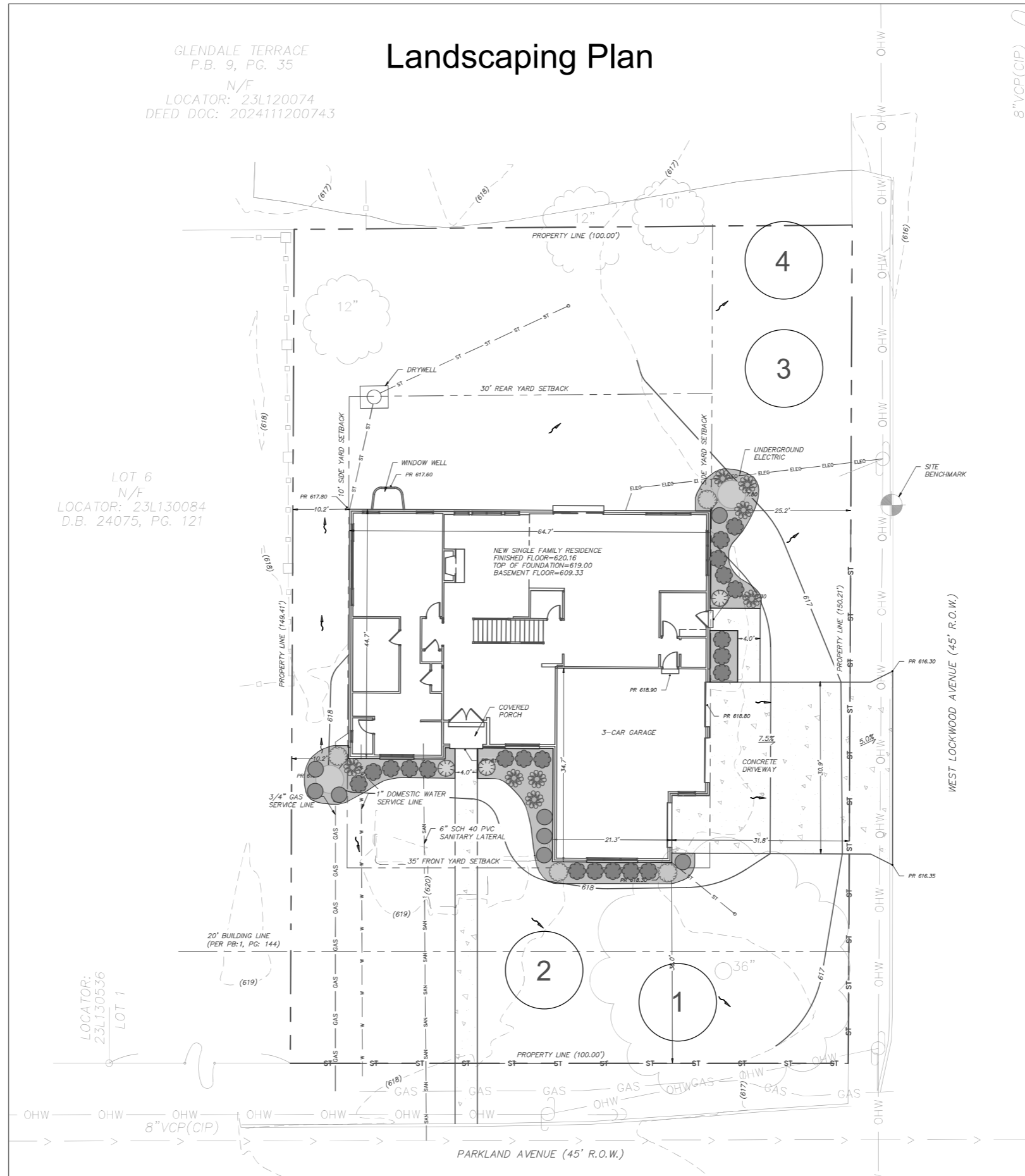
MCKELVEY HOMES

GLENDALE TERRACE
P.B. 9, PG. 35
N/F
LOCATOR: 23L120074
DEED DOC: 2024111200743

Landscaping Plan

LOT 6
N/F
LOCATOR: 23L130084
D.B. 24075, PG. 121

| Planting Schedule | | |
|------------------------------|----------|--|
| Description | Quantity | |
| ○ 1 : Post Oak - 3" | 1 | |
| ○ 2 : Flowering Dogwood - 3" | 1 | |
| ○ 3 : Eastern Redbud - 3" | 1 | |
| ○ 4 : Saucer Magnolia - 3" | 1 | |
| ● Deciduous Shrub - 5 gal | 8 | |
| ● Evergreen Shrub - 5 gal | 21 | |
| ● Flowering Shrub - 5 gal | 8 | |
| ● Ornate Shrub - 5 gal | 3 | |
| ● Ornate Tree - 2" | 2 | |
| ● Upright Evergreen - 5' | 4 | |

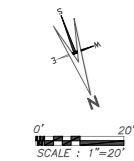


PARCEL SIZE
14,981 SF (0.34 AC)

PROJECT BENCHMARK
CUT SQUARE IN CURB
ELEV=616.24'

LEGEND

- PROPOSED CONCRETE PAVEMENT
- ELEG— PROPOSED ELECTRIC SERVICE
- W — PROPOSED WATER SERVICE
- SAN — PROPOSED SANITARY SERVICE
- ST — PROPOSED STORM DRAIN
- SF — EROSION CONTROL SILT FENCE
- (XXX) EXISTING CONTOUR ELEVATION
- XXX PROPOSED CONTOUR ELEVATION
- PR—PROPOSED SPOT GRADE
- EX—EXISTING SPOT GRADE

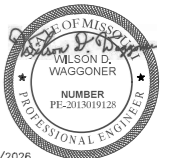


UTILITIES NOTE

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY, IF IT IS POSSIBLE. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS NOT KNOWN OR SHOWN. Know what's below. 811 before you dig.

PROPOSED SITE PLAN
4 PARKLAND AVENUE
GLENDALE, MO 63122

MCKELVEY HOMES



3/17/2026

WCD WILSON CIVIL DESIGN
DESIGNING RESOURCEFULLY

P.O. BOX 308
MARYVILLE, IL 62062
P: (314)750-1987
E: WILSON@WILSONCIVILDIG.COM

REVISION

DATE

NO.

PROJECT NO.

DRAWN WDW SCALE

CHECKED WDW DATE 3/12/2026

C1.0

SHEET 2 OF 4



Install and maintain tree protection fence as indicated on preservation plan for all trees marked save. Silt protection shall be installed in a trenchless manner within the critical root zone of any tree to be SAVED. (I.E. woodchips, wattles, and hay bales)

I hereby certify that I have viewed the premises and provided this professional opinion regarding the survivability of significant trees on this site and abutting the site. Attached is a site plan illustrating the recommended location of tree protection fencing. This fence is to remain erect throughout the construction project . All tree inspections were performed from the ground and are limited in scope. Tree and utility locations are approximate and locations of utilities are subject to change.

A handwritten signature in black ink, appearing to read "Nick Wibbenmeyer", is shown on a light-colored background.

Nick Wibbenmeyer
I.S.A. Certified Arborist
MW 6357A



TREE STUDY
SITE PLAN REVIEW
3/17/2026

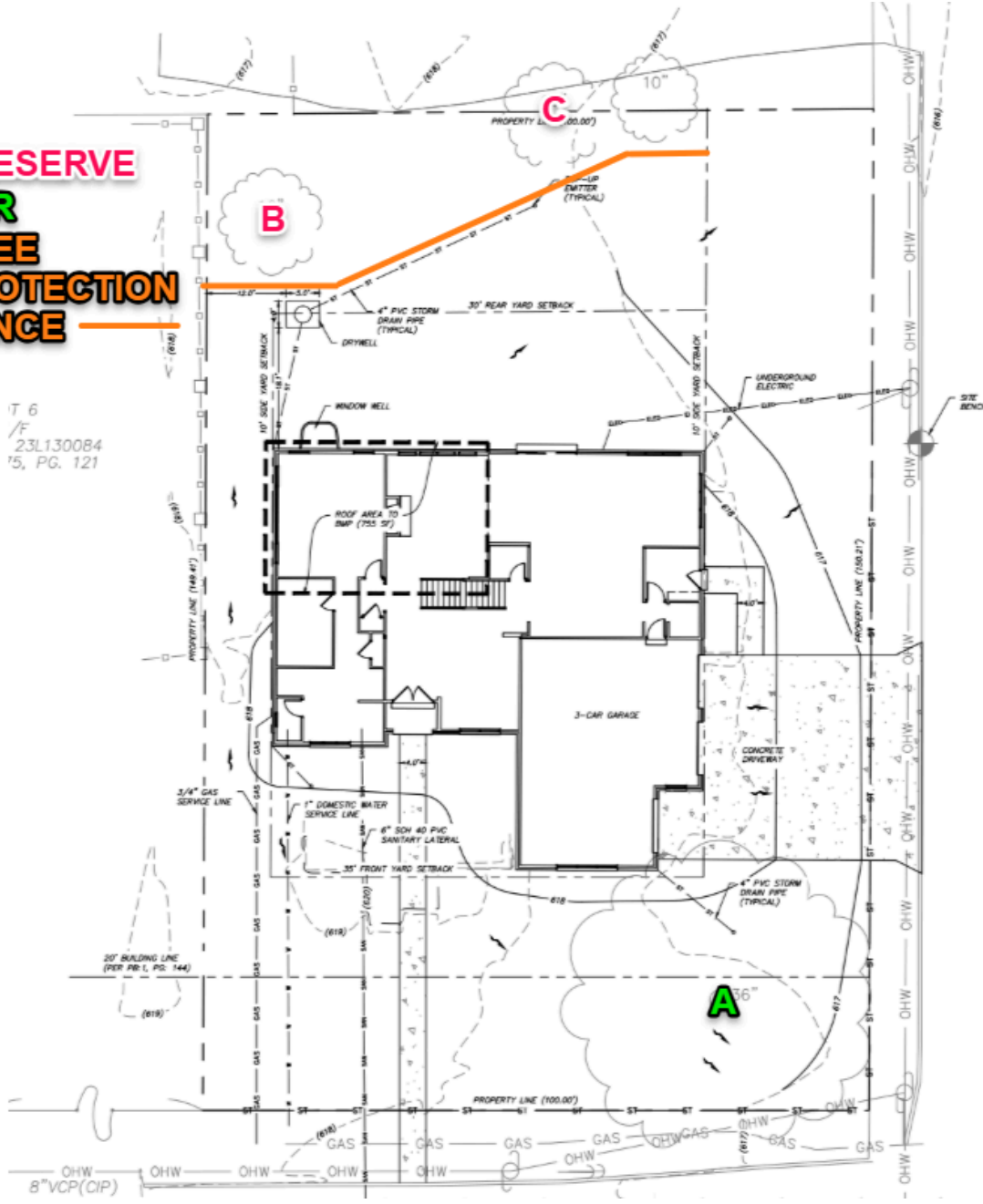
PROPERTY LOCATION: 4 Parkland

| # | TREE SPECIES | D B H | PRESERVE/ TBR | ADJOINING LOT | COMMENTS | CONDITION |
|---|-------------------|-------------|------------------|------------------|--|-----------|
| A | pin oak | 35" | TBR | | utility pruned, epicormic growth, deadwood, minor galls present GRADING/ STORMWATER MITIGATION | Fair |
| B | red maple | 12" | PRESERVE | | bifurcations at 3', surface roots | Good |
| C | ash | 13" | PRESERVE | SHARED | deadwood | Fair |
| 1 | post oak | 3" | INSTALL | | installed replacement tree | |
| 2 | flowering dogwood | 3" | INSTALL | | installed replacement tree | |
| 3 | eastern redbud | 3" | INSTALL | | installed replacement tree | |
| 4 | saucer magnolia | 3" | INSTALL | | installed replacement tree | |

| TOTAL TREES (@ or above 6" DBH) | TOTAL VIABLE TREES | TREES REMOVED | DEAD/DYING/ DISEASED REMOVE | VIABLE TREES REMOVED | # OF VIABLE INCHES REMOVED | # OF 3" CALIPER REPLACEMENT TREES REQUIRED (1 per 10" removed) | OR REPLACEMENT COST @ \$120 PER CALIPER INCH |
|---|--------------------|---------------|--------------------------------|----------------------|----------------------------|--|--|
| 3 | 3 | 1 | N/A | 1 | 35 | 4 | \$420 |

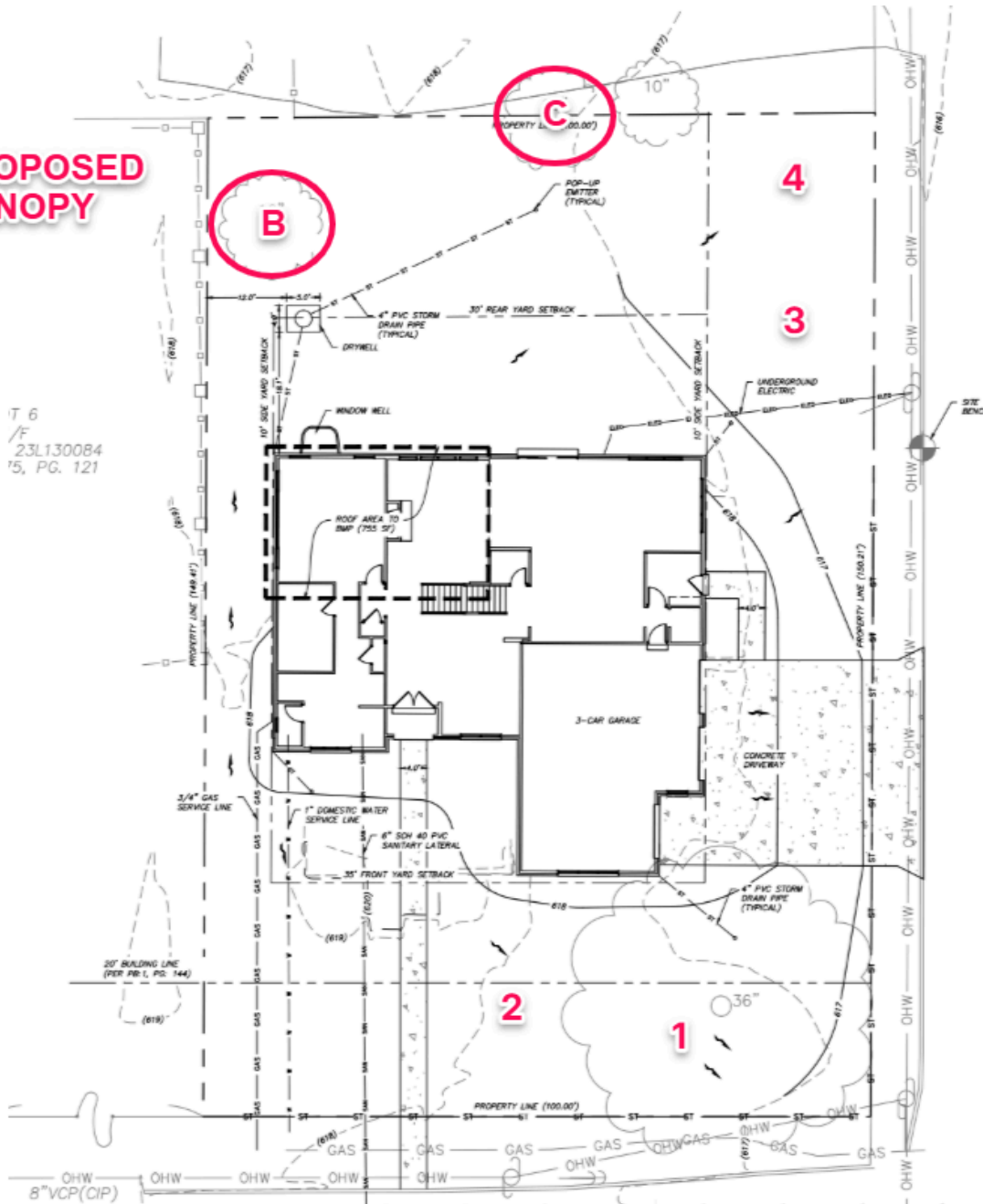
**PRESERVE
TBR
TREE
PROTECTION
FENCE**

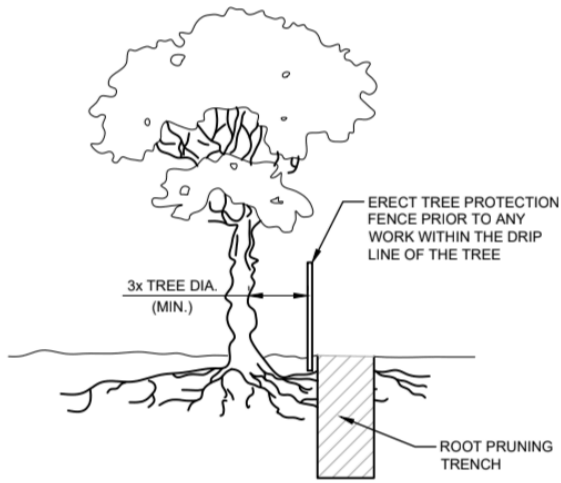
T 6
/F
23L130084
15, PG. 121



PROPOSED CANOPY

T 6
/F
23L130084
15, PG. 121





NOTES:

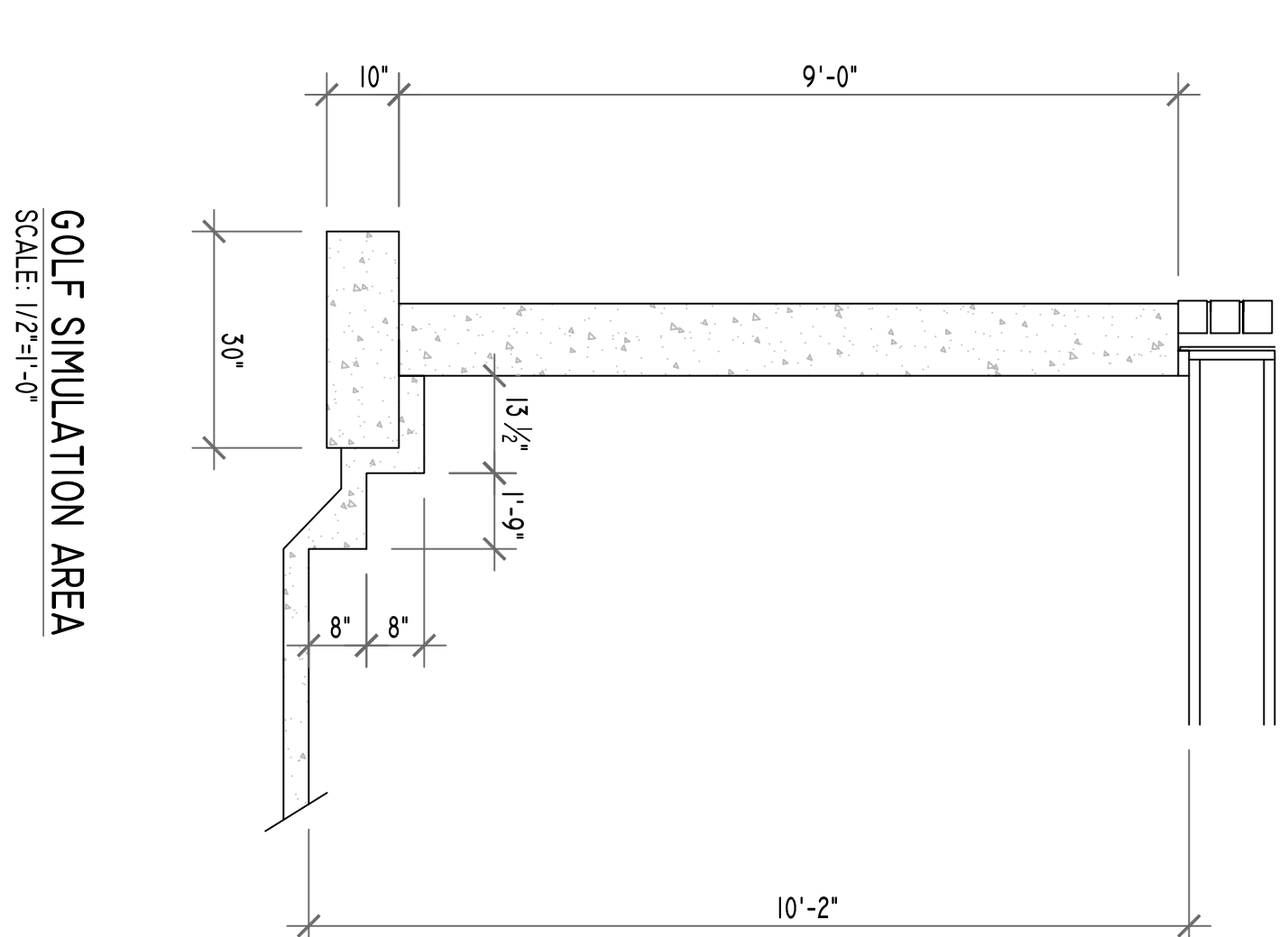
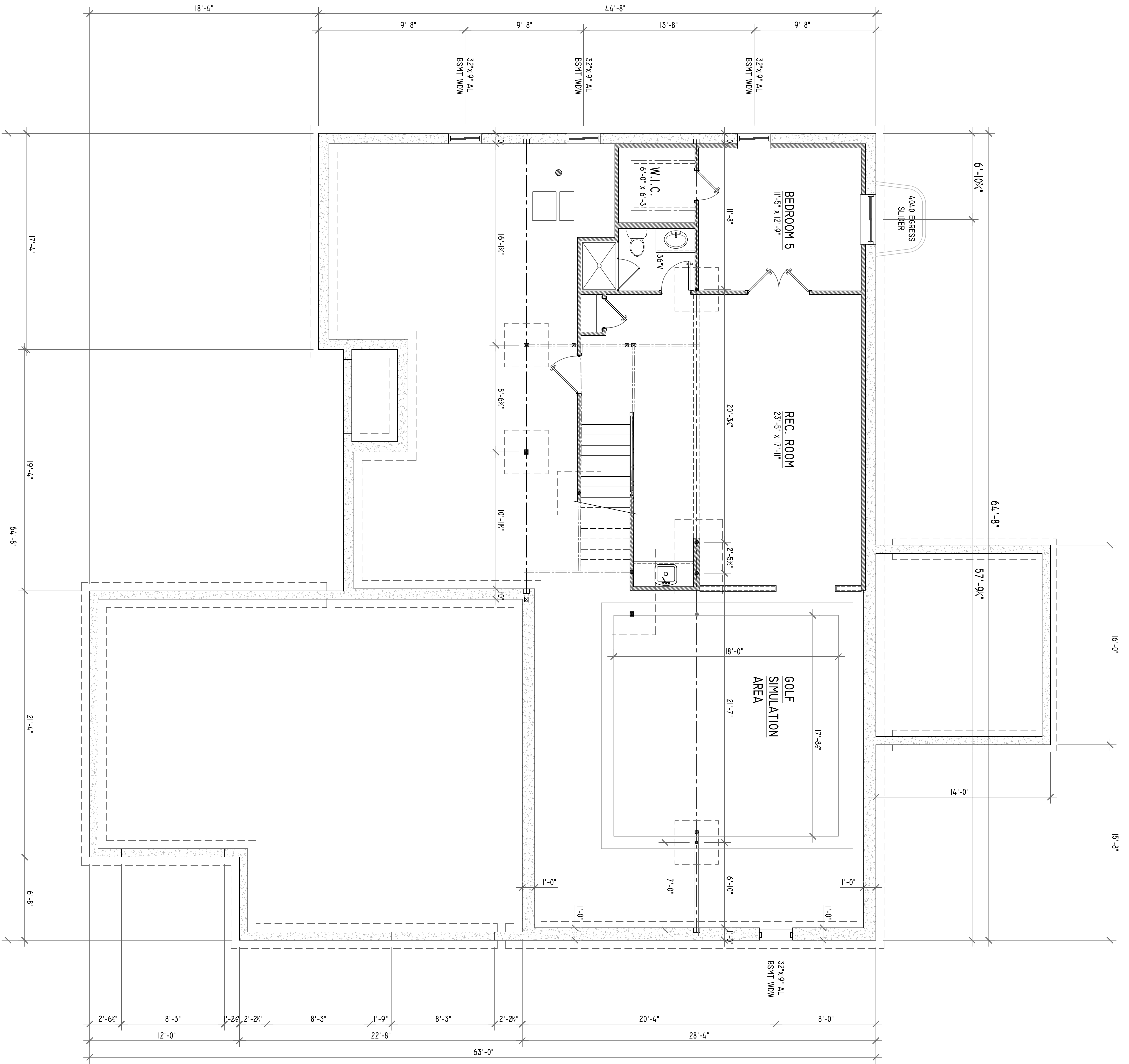
1. ROOT PRUNING SHALL BE DONE WHENEVER THERE WILL BE GRADING, CUTTING OR COMPACTION DISTURBANCE UNDERNEATH THE DRIP LINE OF A TREE. PRIOR TO ANY WORK WITHIN DRIP LINE, THE CONTRACTOR SHALL ERECT A TREE PROTECTION FENCE AND CONTACT AN ISA CERTIFIED ARBORIST TO COORDINATE WORK. NO DISTURBANCE SHALL BE DONE WITHIN A DISTANCE OF 3X THE DIAMETER OF THE TREE, DUE TO STABILITY CONCERNS.
2. ROOT PRUNING SHALL BE DONE WITH A SHARP TOOL, IN SUCH A WAY THAT DOES NOT PULL ON THE ROOTS, BUT LEAVES SMOOTH CUTS. DO NOT TEAR ROOTS WITH EXCAVATION EQUIPMENT. IT IS PREFERABLE TO EXPOSE THE ROOTS PRIOR TO ROOT PRUNING. AFTER PRUNING, FILL THE AREA WITH QUALITY TOPSOIL AND WATER UNTIL THOROUGHLY SOAKED.
3. ONCE EXPOSED, ROOTS MUST BE COVERED WITHIN 8 HOURS. IF ROOTS WILL BE LEFT EXPOSED FOR LONGER THAN 8 HOURS, THEY MUST BE KEPT MOIST. ONE OPTION IS TO PUT MOIST BURLAP OVER THE EXPOSED ROOTS.

NOTES (CONT.):

4. ROOT PRUNING SHALL MEET OR EXCEED ANSI A300 OR APPROVED TREE CARE INDUSTRY STANDARDS.

DIGGING PROCESS

1. THE PRUNING TRENCH SHOULD BE CLEARED IN A WAY THAT EXPOSES THE ROOTS WHILE LEAVING THEM INTACT.
 - 1.1. USE HAND TOOLS OR AN AIR KNIFE II) DO NOT USE AN EXCAVATOR, AS THIS WILL PULL ON THE ROOTS AND POSSIBLY DAMAGE THE TRUNK III) IF A ROOT LARGER THAN 2" IS EXPOSED, LEAVE THIS ROOT INTACT AND CONTACT LANDSCAPE SERVICES
 2. ONCE THE ROOTS ARE EXPOSED, USE A SHARP TOOL TO CLEANLY CUT ALL ROOTS WHICH ARE BETWEEN 1-2" DIAMETER, TO THE DEPTH OF THE PROPOSED DISTURBANCE
 - 2.1. APPROPRIATE TOOLS INCLUDE SHARP LOPPING SHEARS, HANDSAWS, A SHARPENED AXE, A ROOT PRUNER GRINDER, A RECIPROCATING SAW AND ANY OTHER SHARP TOOL WHICH LEAVES A CLEAN CUT
 - 2.2. YOU MAY NOT USE A CHAINSAW OR CHAIN TRENCHER TO MAKE THE FINAL CUTS
 - 2.3. ALL ROOTS SHALL BE LEFT WITH A CLEAN, SMOOTH ENDS AND NO RAGGED EDGES
3. POST PRUNING
 - 3.1. TREE ROOTS MUST BE KEPT MOIST. IF ROOTS ENDS WILL BE LEFT EXPOSED FOR MORE THAN 8 HOURS, COVER THE HOLE WITH MOIST BURLAP.
 - 3.2. FILL THE HOLE WITH HIGH QUALITY TOP SOIL, MULCH THE AREA WITH TRIPLE SHREDDED HARDWOOD TO A DEPTH OF 3", AND WATER WELL.



ATF

CLIENT:
WENDLING RESIDENCE
 #4 PARKLAND AVENUE
 GLENDALE, MO 63122

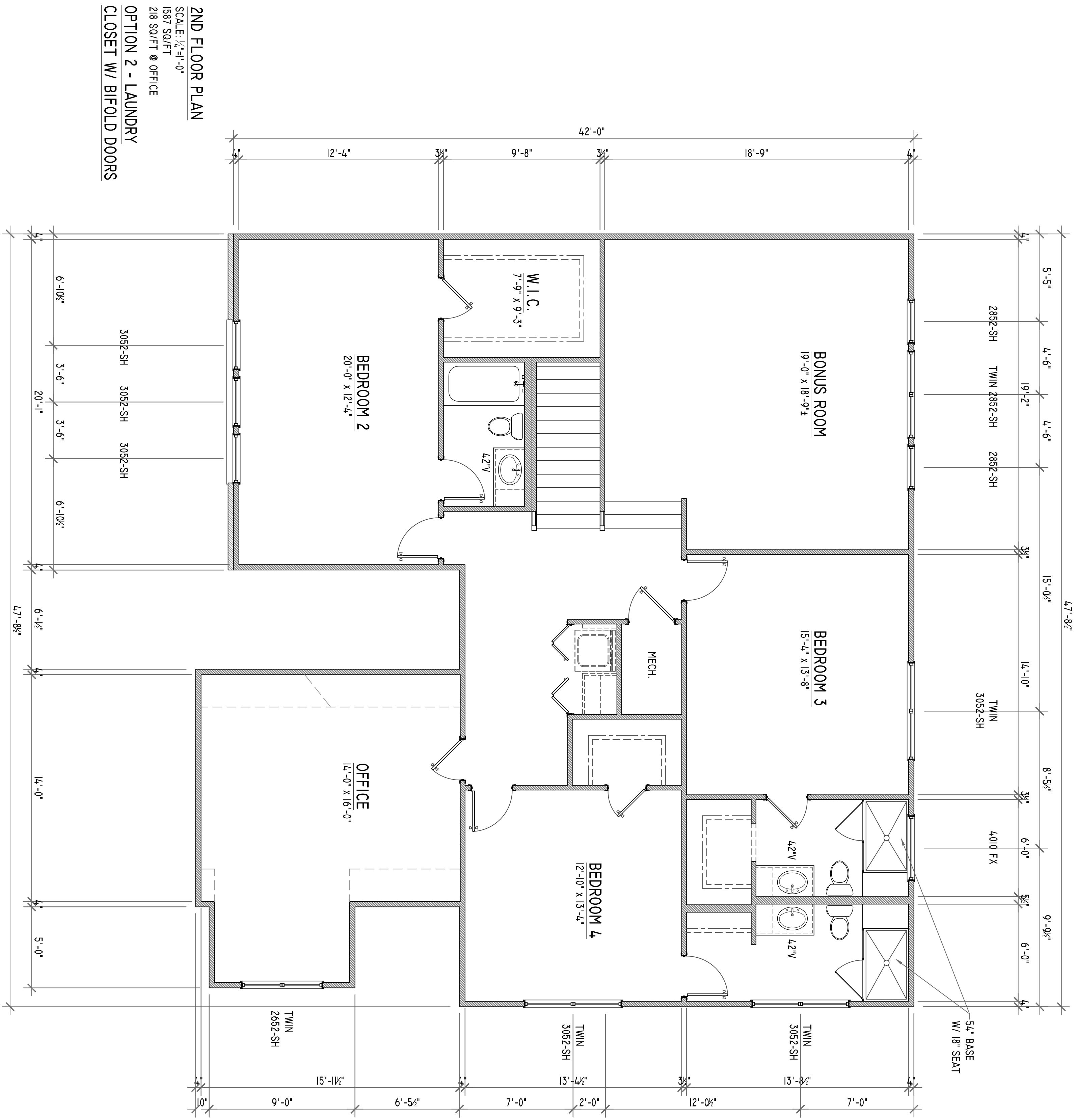
ARCHITECT OF RECORD:
 PAUL DEAN HUNSICKER
 1016 Clark Drive - Fenton MO 53124
 (314) 971-0639 - Mo Cert Of Auth: 2013007016
 DRAFTING:
 The Drafting Team LLC - Mark Scheipeter / Scott Tribut
 scheipetermark@gmail.com (314) 486-0065
 Not a Missouri Design Professional

PLAN:
THE MUIRFIELD
 CUSTOM ELEVATION

CUSTOM HOME DIVISION:

 Building A Tradition Of Excellence Since 1880

ISSUED: 02-23-2026
 ISSUED: 02-26-2026
 ISSUED: 03-02-2026
 ISSUED: 03-05-2026
 ISSUED: 03-08-2026
 ISSUED: 03-10-2026
 ISSUED: 03-15-2026
 ISSUED: 03-17-2026



ISSUED: 02-23-2026
 ISSUED: 02-26-2026
 ISSUED: 03-02-2026
 ISSUED: 03-05-2026
 ISSUED: 03-08-2026
 ISSUED: 03-10-2026



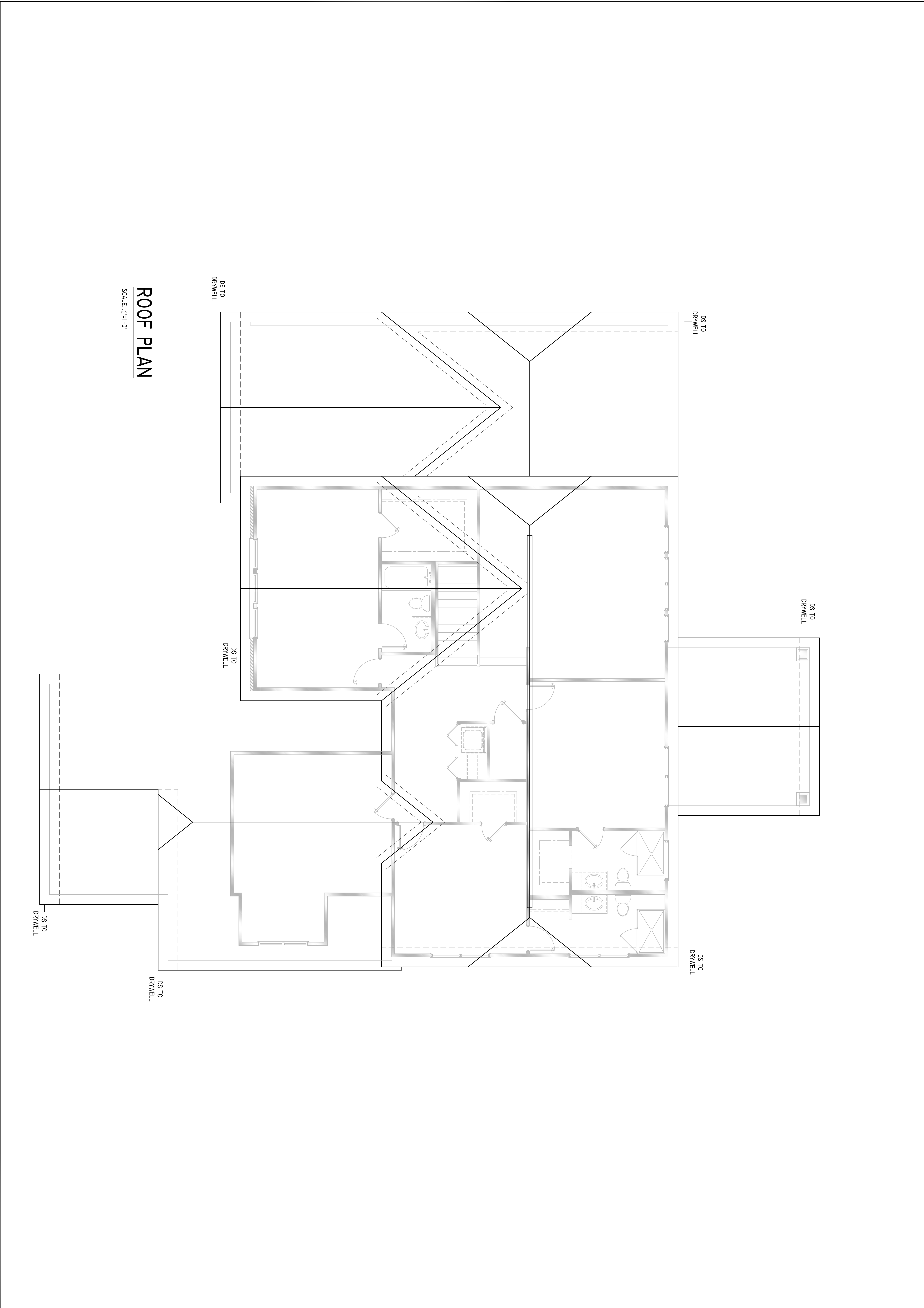
PLAN:
THE MUIRFIELD
CUSTOM ELEVATION

ARCHITECT OF RECORD:
PAUL DEAN HUNSICKER
 1016 Clark Drive - Fenton MO 53124
 (314) 971-0639 - Mo Cert Of Auth: 2013007016

DRAFTING:
 The Drafting Team LLC - Mark Scheipeter / Scott Tributou
 scheipetermark@gmail.com (314) 486-0065
 Not a Missouri Design Professional

CLIENT:
WENDLING RESIDENCE
 #4 PARKLAND AVENUE
 GLENDALE, MO 63122

SHEET #
A3



ROOF PLAN

SCALE: 1/4" = 1'-0"

SHEET #
A6

CLIENT:
WENDLING RESIDENCE
#4 PARKLAND AVENUE
GLENDALE, MO 63122

ARCHITECT OF RECORD:
PAUL DEAN HUNSICKER
1016 Clark Drive - Fenton MO 63124
(314) 971-0639 - Mo Cert Of Auth: 2013007016

DRAFTING:
The Drafting Team LLC - Mark Schepeler / Scott Tribout
schepetermark@gmail.com (314) 486-0065
Not a Missouri Design Professional

PLAN:
**THE MUIRFIELD
CUSTOM ELEVATION**



ISSUED: 04-01-2026

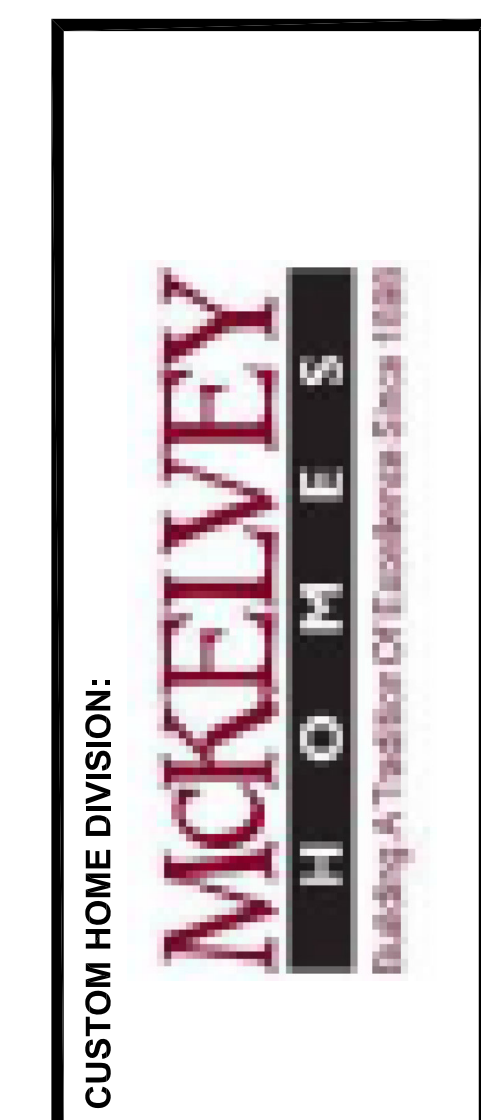


WEST ELEVATION
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"

ISSUED: 02-23-2026
ISSUED: 02-26-2026
ISSUED: 03-02-2026
ISSUED: 03-05-2026
ISSUED: 03-08-2026
ISSUED: 03-10-2026
ISSUED: 03-13-2026



CUSTOM HOME DIVISION:
THE MUIRFIELD
CUSTOM ELEVATION

ARCHITECT OF RECORD:
PAUL DEAN HUNSLICKER, MO 53124
10000 Hwy 66, Suite 100, Springfield, MO 65803
(314) 371-0639 - Mo. Cert. Of Auth: 2013007016

DRAFTING:
The Drafting Team LLC - Mark Schepeler / Scott Tribout
scottribout@gmail.com (314) 869-9669
www.thedraftingteam.com

CLIENT:
WENDLING RESIDENCE
#4 PARKLAND AVENUE
GLENDALE, MO 63122

SHEET #
A4

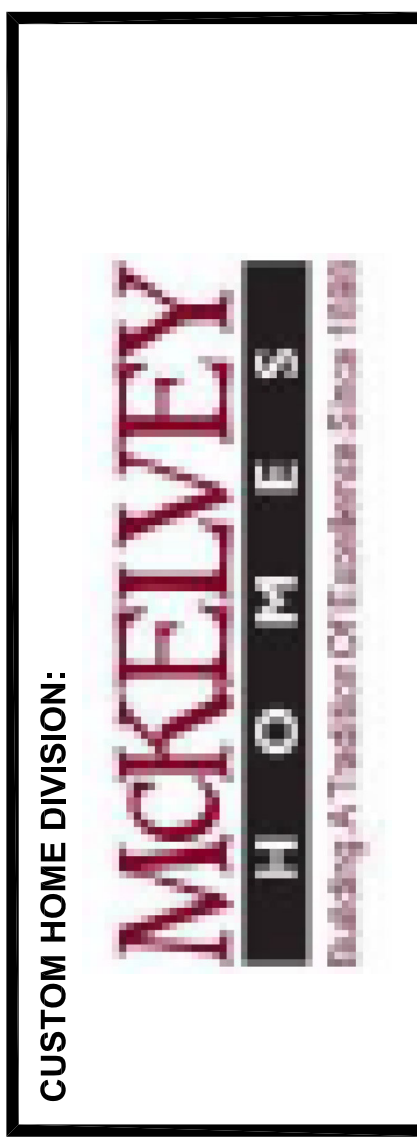


EAST ELEVATION
SCALE: 1/4"=1'-0"



NORTH ELEVATION
SCALE: 1/4"=1'-0"

ISSUED: 02-23-2026
ISSUED: 02-26-2026
ISSUED: 03-02-2026
ISSUED: 03-05-2026
ISSUED: 03-08-2026
ISSUED: 03-10-2026
ISSUED: 03-13-2026



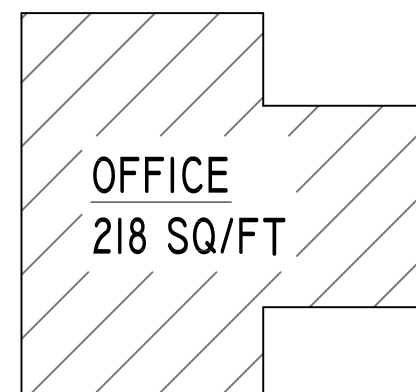
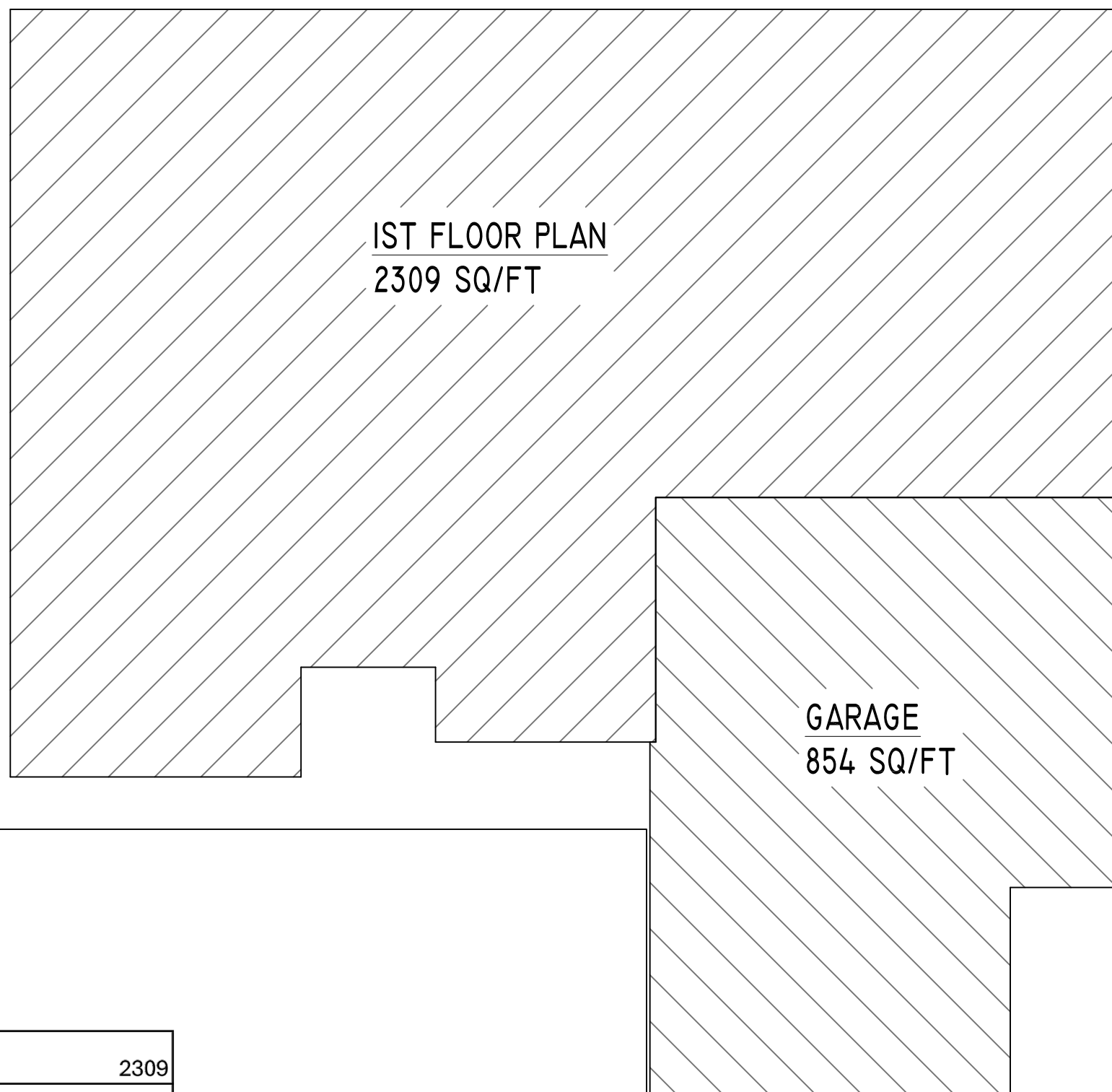
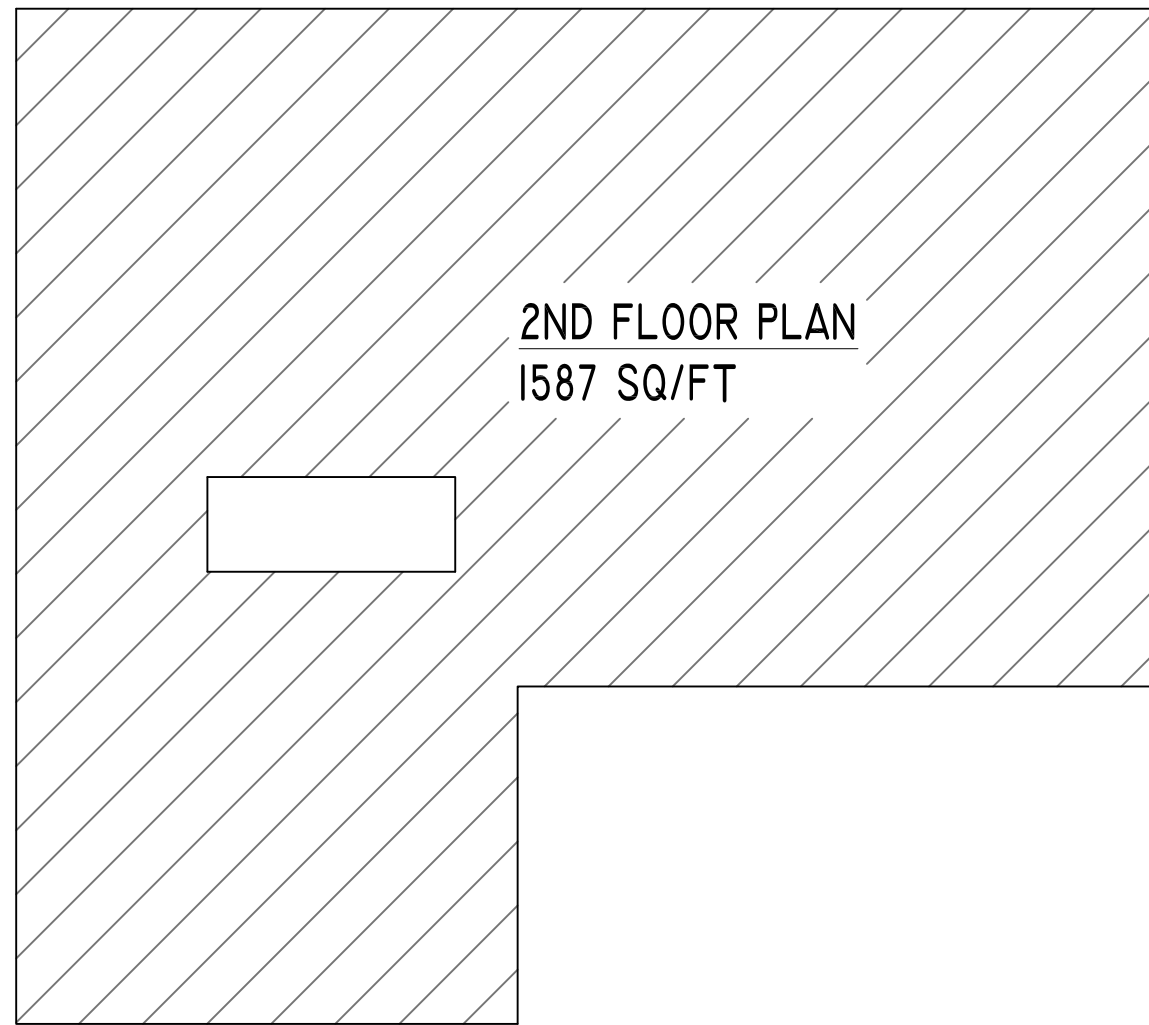
CUSTOM HOME DIVISION:
THE MUIRFIELD
CUSTOM ELEVATION

ARCHITECT OF RECORD:
PAUL DEAN HUNSLICKER
1000 N. 10th St. Suite 100
Glendale, MO 63122
(314) 371-0639 - Mo. Cert. Of Arch: 2013007016

DRAFTING:
The Drafting Team LLC - Mark Schepeler / Scott Tribout
scottribout@gmail.com (314) 869-9669
www.thedraftingteam.com

CLIENT:
WENDLING RESIDENCE
#4 PARKLAND AVENUE
GLENDALE, MO 63122

SHEET #
A5



4 Parkland Ave

| | |
|-------------------------|-------|
| Main Floor | 2309 |
| 2nd Floor | 1587 |
| Office above the garage | 218 |
| Garage - 50% | 427 |
| Total Square Foot | 4541 |
| Total Lot Size | 14981 |
| Floor Area Ratio | 0.30 |

**FLOOR
AREA
RATIO**

CLIENT:
WENDLING RESIDENCE
#4 PARKLAND AVENUE
GLENDALE, MO 63122

ARCHITECT OF RECORD:
PAUL DEAN HUNSICKER ARCHITECT INC.
(636) 343-6527
MO CERTIF. OF AUTH. 2013007016
PLANS PREPARED BY:
THE DRAFTING TEAM, LLC
(314) 486-0065
Not a Registered Design Professional

CUSTOM HOME DIVISION:



ISSUED: 03-17-2026

Colored Illustrations



West Elevation - Front Facing Parkland Ave.



South Elevation - Facing Lockwood Ave.



East Elevation – Back of the Home



Noth Elevation – Side of Home next to 8 Parkland Ave.



WEST ELEVATION #8 PARKLAND AVENUE
SCALE: 1/4"=1'-0"

BUILDING ELEVATIONS PARKWOOD AVENUE



WEST ELEVATION #4 PARKLAND AVENUE
SCALE: 1/4"=1'-0"

PROPOSED FINISH FLOOR ELEVATION 620.16

ELEVATION LOCKWOOD - 616.33

35'-0"



SOUTH ELEVATION #4 PARKLAND AVENUE
SCALE: 1/4"=1'-0"

BUILDING ELEVATIONS LOCKWOOD AVENUE
1/4" SCALE ON SIZE ARCH-E PAPER (36"x48")



SOUTH ELEVATION 1209 WEST LOCKWOOD
AVENUE - 0"



